



Midway

CITY COUNCIL MEETING STAFF REPORT

DATE OF MEETING:	June 4, 2024
NAME OF PROJECT:	The Homestead Resort
NAME OF APPLICANT:	The Homestead Group, LLC
AUTHORIZED REPRESENTATIVE:	Berg Engineering
AGENDA ITEM:	The Homestead Phases 1 & 2
LOCATION OF ITEM:	700 North Homestead Drive
ZONING DESIGNATION:	RZ

ITEM: 10

Berg Engineering, agent for The Homestead Group LLC, is proposing Preliminary Approval of Phases 1 and 2 of The Homestead Resort. The preliminary application includes 68 condo units, seven residential units, and seven resort amenity buildings. The preliminary plan is on 71.97 acres and is located at 700 North Homestead Drive. The property is zoned Resort Zone (RZ).

BACKGROUND:

Berg Engineering, agent for The Homestead Group LLC, is proposing preliminary approval of Phases 1 & 2 of The Homestead Resort master plan. The master plan was approved on August 27, 2008, and was most recently amended on March 5, 2021. Phases 1 & 2 include 68 condo units, seven residential units, seven resort amenity buildings, open space, and all the existing resort buildings and accompanying facilities.

The Homestead is a very important heritage landmark in Midway and many tourists associate the names “Midway” and “Homestead” as one. It is important that the essence of The Homestead is preserved in this proposal as it was in the 2008 Master Plan. The developer has included architecture and activities that have been historically associated with The Homestead in the proposal. The Homestead is also an important economic driver in Midway for both economic activity that has a residual impact on other businesses but also an important tax revenue source for the City which, in turn, helps keep property taxes low which is a benefit to all residents of Midway.

The property is 71.97 acres and was approved for development in two phases. The two plats will include all the public utility easements and required open space. Some of the property will be subdivided into condominium units and building pads for single-family residences. Per the applicant, all the condominiums and single-family residences will be in a rental pool for short-term rental. The Homestead Resort also has a contract with Marriot that would brand the resort as part of the Marriot Autograph Collection. As part of the contract, The Homestead is pursuing condominiums and single-family residences that will be for sale as opposed to the plan that was presented in 2021 that none of the property would be sold. The RZ code does allow the ability to sell property. The master plan language also allows for some modifications regarding building footprint sizes and expanding the number of rental rooms. There is a maximum number of rooms that are allowed at 453, and maximum amount of building footprint is also limited to 367,750 square feet. The proposed plan is well within those limits. Changes in room numbers and building footprints do not require a master plan amendment but are allowed through the preliminary and final approval process of each phase. The master plan states the following:

Addition of New Buildings or Expansion of Existing Facilities not included in subparagraph (d) and (e). Developer has the right to build up to 367,750 square feet of building footprint, which may involve expanding the footprint of existing buildings or proposing additional buildings within the Resort Core. Any square footage proposed above that currently shown in the approved Master Plan will be addressed through preliminary and final approval of each phase of the Development and will not require amendment to the Master Plan. The Parties agree that required parking beyond that currently shown in the Master Plan may be considered and required during preliminary and final approval of the additional square footage in order to meet parking needs created by the expanded use. Request for additional square footage shall require recalculation of water needs, parking, demonstration of conformity with existing zoning code and setbacks, and be subject to architectural review.

All roads in the development will be private roads. There will be 55.79 acres of open space included in the resort with most of it delineated on the plats. There will also be a mix of public and private trails throughout the development.

Sensitive land area located on the property will be left undisturbed as required by the land use ordinance. These sensitive lands include the Crater, which is defined as a major geologic feature, wetlands, and Snake Creek stream corridor and associated floodplains.

LAND USE SUMMARY:

- Resort Zone (RZ)
- Two phases
- 71.97 acres
 - 55.79 acres of open space
 - Phase 1 – 35.44 acres
 - Phase 2 – 20.35 acres
- Private roads and storm drain system will be maintained by the property owner
- New improvements will connect to the Midway Sanitation District sewer and to the City's culinary water line.
- An 8' paved public trail is planned to run north and south through the length of the property along Homestead Drive.
- Sensitive lands on the property include The Crater and wetlands

ANALYSIS:

Open Space – The code requires 55% open space which is being met with 55.79 acres (77.5%) of open space. The open space areas that will be noted on the plat include the 100' setback area along Homestead Drive, the Crater, and golf course areas that are required open space as per the master plan agreement. Open space areas in the resort core will not be noted on the plat except for the Crater, the 100' setback area, and the area east of The Crater that is noted in the master plan. Open space areas shall not be developed and will be noted on the plat.

Density – The proposal includes 68 condominiums and seven single-family dwellings, along with all the existing hotel rooms currently in the resort. The number of rooms that will be added to the resort will be approximately 139, which brings the total number of rooms to approximately 264 once construction is complete (this number is approximate because it is unknown how many rooms will be in the single-family dwellings).

Water Rights – The amount of water rights required for the proposed plan, per phase, has not yet been determined. The Water Board initially reviewed the proposal on May 6, 2024, but continued the item so more information could be gathered. Once a determination is made regarding required water rights, the required water rights will need to be held in escrow before the recording of the master plan. Water rights will then be dedicated to the City with the recording of the plats.

Building Area – The proposed plan includes a building footprint area of 238,376 square feet. The maximum amount of building footprint is limited to 367,750 square feet. Per the master plan agreement, it is allowed that the developer can increase the building area through the preliminary and final approval process of each phase.

Access – The development has four points of access that will be built to City standards, two from Homestead Drive, one from The Kantons (existing) and one from The Links (existing). The access from The Links will be built as part of phase 1 and has specific restrictions that are described in an access easement. There is another access to Pine Canyon Road that will continue to be a maintenance road.

Traffic Study – The developer has submitted a revised traffic study which Horrocks Engineers has reviewed. Please see the attached letter from Horrocks for their comments.

Public Participation Meeting – The developers held a public participation meeting on March 7, 2024. This requirement is to give the developers an opportunity to present the development to the surrounding residents of the proposed development.

Sensitive Lands – The property does contain some wetlands and geologic sensitive lands that cannot be disturbed through the development process. If any wetlands are proposed to be disturbed, approval must first be received from the Army Corp of Engineers. The Crater is defined as a major geologic feature in the sensitive lands ordinance and cannot be developed or disturbed, although the Crater has been developed in several ways over the past century. The developer is limited in the approved master plan regarding Crater development which basically states that the pot rock cannot be modified in any way. Sand and pavers can be placed on the pot rock to create a safe walkable surface. There is also FEMA floodplain that crosses the property. Any improvements in the floodplain will need US Army Corps of Engineers approval.

Trails – The Trails Master Plan contains one public trail that will parallel Homestead Drive. Per the current master plan agreement, this trail was to be built before October 31, 2021, but the trail has not yet been built. The City has since built the trails to the north and south of The Homestead property which has left this as the only section of trail along Homestead Drive that has not yet been built. This trail should be built as soon as possible. This trail will help complete the Master Trail Plan that will benefit residents and tourists alike.

Staff have worked with the developers regarding an east-west trail connection. After much discussion and legal analysis, it was discovered that the liability of running a public trail along a golf course, and in this case for long distances, poses liability issues that are very difficult to overcome. These issues could put the City and the resort owners at risk for litigation. An option was offered that the resort owners would contribute \$50,000 to help connect the Homestead trail along Homestead Drive to Main Street. The applicant did follow through on that commitment and did contribute \$50,000 to help Midway build the trail along Homestead Drive.

Architecture Theme – The developer did receive approval that all structures in the proposal follow the traditional architectural design of The Homestead and not the Swiss and Old European theme the City has adopted. All buildings will be reviewed by the Visual and Architectural Committee (VAC) and staff before building permits are issued. Also, the 2008 Master Plan states the following:

Building materials and colors that are compatible with the natural environment and the existing buildings in The Homestead are encouraged.

Setbacks – The proposed development is designed with the setbacks from the 2006 code in which the current master plan is vested. There is a required 100' setback along Homestead Drive. There are 30' setbacks on the north, south and east boundaries.

Height of structures – Structures cannot exceed 35' in height unless the building is a hotel or conference building and that building is located at least 500' east of the right-of-way of Homestead Drive. The height of any structure over 35' cannot exceed an elevation of 5680', two feet lower than the highest elevation of the Crater. All future elevation certificates will be based on natural grade and will need to comply with the provisions of the master plan agreement. The developer received approval for one proposed building to be a maximum of 40' in height, measured from natural grade, to be within 500' of Homestead Drive. The proposed wedding barn is setback about 150' from the right-of-way line from Homestead Drive. The VAC reviewed this issue and direction was given that the 40' height would be acceptable based on the following: the relatively large distance from Homestead Drive to the proposed structure, elevation drop from Homestead Drive to the location of the wedding barn, and that the location of the wedding barn would not greatly impact views of The Crater from Homestead Drive.

Building Area Dimensional Limitations – The 2006 code requires that building coverage not exceed 12,000 square feet per acre or greater than 27.5% of an acre. The applicant's plan has an average building coverage of 3,312 square feet per acre which is 9% per acre.

Parking - The applicant is also seeking to expand parking stalls from the required 424 stalls to a proposed requirement of 465 stalls. The developer is proposing that, at a minimum, 510 stalls would be built on-site. They also plan to have the option to build 609 stalls if there is demand for the stalls. The current agreement gives the City the ability to require parking stalls to be constructed if it is agreed by the Planning Director and the City Engineer that there is a lack of parking.

Landscaping border on the north and south of The Homestead – Once phases 1 and 2 are approved, there will be years of construction ahead. The City has received concerns, comments, and complaints about the construction and the storage of construction related debris from neighbors. A solution may be to require a landscaping border next to The Links on the south and The Kantons on the north to help buffer and mitigate the construction on the resort property. Usually, landscaping is installed last in a development but in this case where this landscaping is on the periphery of the development, it would make sense to install it first. This landscaping could be installed in the first planting season of construction and will buffer those two communities during the years of construction ahead.

Southern parking lot – A light mitigation plan must be submitted to the City that will shield the lighting from the southern parking area to the residences in The Links. The plan will mitigate this potential impact through a combination of a berm, landscaping, and a non-sight obtrusive fence that is agreeable to the City. All costs of mitigation shall be borne by the Developer.

PLANNING COMMISSION RECOMMENDATION:

The Planning Commission reviewed the proposal during their May 14th, 20024 meeting and approved the following motion:

Motion: Commissioner Garland: I make a motion that we recommend Preliminary Approval of Phases 1 and 2 of the Homestead Resort, accept the staff report, the findings, and the eight (8) conditions set forth in the report. The preliminary application includes 68 condo units, seven residential units, and seven resort amenity buildings. The preliminary plan is on 72.01 acres and is located at 700 North Homestead Drive.

Seconded: Commissioner Nokes

Commissioner Nicholson: Any discussion on the motion?

Commissioner Nicholson: All in favor.

Ayes: Commissioners: Osborne, Nokes, Miles, Knight and Garland

Nays: None

Motion: Passed

VISUAL AND ARCHITECTURAL COMMITTEE RECOMMENDATION:

The Visual and Architectural Committee (VAC) has reviewed several renderings of remodeled buildings and new construction and has recommended approval of some of the designs. Once building permits are submitted to the City, staff will assure that remodeling and construction of those structures matches approved plans.

WATER BOARD RECOMMENDATION:

The amount of water rights required for the proposed plan, per phase, has not yet been determined. The Water Board initially reviewed the proposal on May 6, 2024, but continued the item so more information could be gathered. Once a determination is made regarding required water rights, the required water rights will need to be held in escrow before the recording of the master plan. Water rights will then be dedicated to the City with the recording of the plats.

POSSIBLE FINDINGS:

- The proposal will benefit the City financially by creating a greater tax base.
- The proposal will help the City better comply with State requirements regarding the ability to collect resort tax.
- The public trail system in the development will benefit the entire community by completing the public trail along Homestead Drive.
- Amenities will be created that will be accessible year-round, which will invite more tourists to visit the resort in all seasons.
- The proposal will increase traffic to the surrounding community.

ALTERNATIVE ACTIONS:

1. Approval (conditional). This action can be taken if the City Council finds the proposal complies with code and master plan requirements.
 - a. Accept staff report
 - b. List accepted findings
 - c. Place condition(s) if needed

2. Continuance. This action can be taken if the City Council finds that there are unresolved issues.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for continuance
 - i. Unresolved issues that must be addressed
 - d. Date when the item will be heard again
3. Denial. This action can be taken if the City Council finds that the request does not comply with code and master plan requirements.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for denial

PROPOSED CONDITIONS:

1. The public trail that parallels Homestead Drive will be built by August 1, 2024.
2. A light mitigation plan shall be submitted to the City, and agreeable to the City, that will mitigate the potential impact to the residents of The Links through a combination of a berm, landscaping, and a non-sight obtrusive fence.
3. All existing lighting and planned lighting in the resort will comply with current Midway requirements. Existing nonconforming lighting in each phase must be brought into compliance within a year of recording the plat where the lighting is located.
4. Landscaping must be installed along the southern and northern boundaries of The Homestead the first summer season of construction to help mitigate nuisance issues related to construction activities.
5. With respect to the 19.74 acres of previously designated open space per the current master plan agreement that is located outside of the resort core, a conservation easement should be placed on it to permanently restrict it from future development. The conservation easement will be held by an accredited land trust.
6. All required parking for each building and use shall be completed before the certificate of occupancy is issued for each building in both phases.
7. A UDOT approval document is submitted to the City for the new access location on State Route 222.

8. The traffic study is updated based on the current plan before the item is reviewed by the City Council.

Midway City Corporation

Mayor: Celeste T. Johnson
City Council Members
Lisa Orme • Jeffery Drury
J.C. Simonsen • Steve Dougherty
Kevin Payne



Midway

75 North 100 West
P.O. Box 277
Midway, Utah 84049
Phone: 435-654-3223
Fax: 435-654-4120
midwaycityut.org

May 14, 2024

Michael Henke
Midway City Planner
75 North 100 West
Midway, Utah 84049

Subject: Homestead Resort, Preliminary Approval Review

Dear Michael:

Midway Engineering recently reviewed The Homestead Resort preliminary plans. The following issues should be addressed.

General Comments

- The proposed plan will be built in two phases, with the majority of the improvements being installed in phase 1.

Water

- Each of the proposed phases within the Resort will be served from the Cottages on the Green pressure zone. This is the higher pressure zone within the City.
- To ensure adequate fire flow the waterlines diameters, looped connections, and previously replaced water lines will need to be analyzed and established prior to Final approval.
- The location of each culinary water meters should be shown on the plans. Each building should have an individual culinary water meter.

Roads

- The proposed plans show the main entrance to the Homestead Resort being relocated to the south.
- The traffic study completed by Hales Engineering shows four points of access to the resort. The two main access points are off Homestead Drive. The existing North access and the proposed re-located South access. A small percentage of traffic is proposed to access the resort through the Links development using St Andrews Drive and through Mountain Springs using Mountain Springs Drive. The traffic study is showing no access off Pine Canyon Road near 720 North, at the existing maintenance entrance.
- To maintain an acceptable level of service on Homestead Drive, the traffic study is recommending a Southbound left-turn pocket and a North-bound right-turn pocket be installed on Homestead Drive at both the North and South entrance.
- Because Homestead Drive is a UDOT roadway, UDOT will review and approve the traffic study and roadway improvements.

Our vision for the City of Midway is to be a place where citizens, businesses and civic leaders are partners in building a city that is family-oriented, aesthetically pleasing, safe, walkable and visitor friendly. A community that proudly enhances its small-town Swiss character and natural environment, as well as remaining fiscally responsible.

- To ensure all deliveries are made using Homestead Drive, a delivery routing should be shown on the traffic plan.
- The resort layout plan should be updated within the Traffic Impact Study.
- All roads within the Resort will be private roads.

Storm Drain

- The storm-drain system within The Homestead will be a private system.
- The storm water will be addressed through the use of catch basins, storm-drain pipes, sumps, and detention basins.

Trails

- An 8' public trail is proposed adjacent to Homestead Drive. A pre-construction meeting has been held with the developer and contractor constructing the trail.

Landscaping

- The landscaping plan and landscaping cost for each phase shall be submitted and included within the improvements bond.

Please feel free to call our office with any questions.

Sincerely,



Wesley Johnson, P.E.
Midway City Engineer

cc: Berg Engineering (sent via email)

Our vision for the City of Midway is to be a place where citizens, businesses and civic leaders are partners in building a city that is family-oriented, aesthetically pleasing, safe, walkable and visitor friendly. A community that proudly enhances its small-town Swiss character and natural environment, as well as remaining fiscally responsible.

Midway City Corporation

Mayor: Celeste T. Johnson
City Council Members
Lisa Christen • Jeffery Drury
J.C. Simonsen • Steve Dougherty
Kevin Payne



75 North 100 West
P.O. Box 277
Midway, Utah 84049
Phone: 435-654-3223
Fax: 435-654-4120
midwaycityut.org

Homestead Phases 1 & 2 Preliminary Approval

May 6, 2024

Michael Henke Midway City Planning Director,

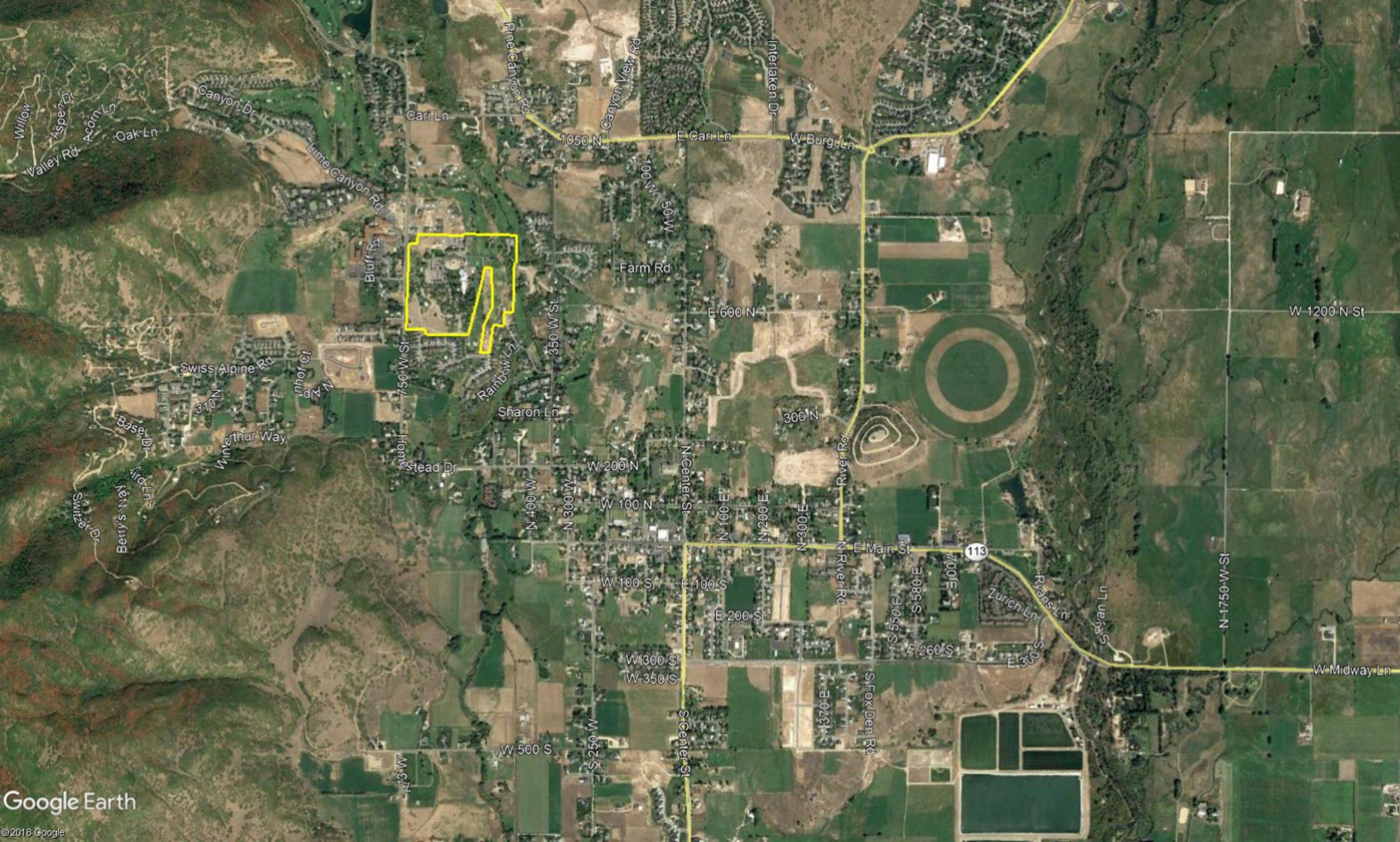
I have reviewed the plans for Homestead Phases 1 & 2 Preliminary Approval for compliance with the 2021 International Fire Code (2021 IFC). I have no fire code concerns with the plans at this time, I will be performing another review prior to final approval, and I will provide another approval letter at that time.

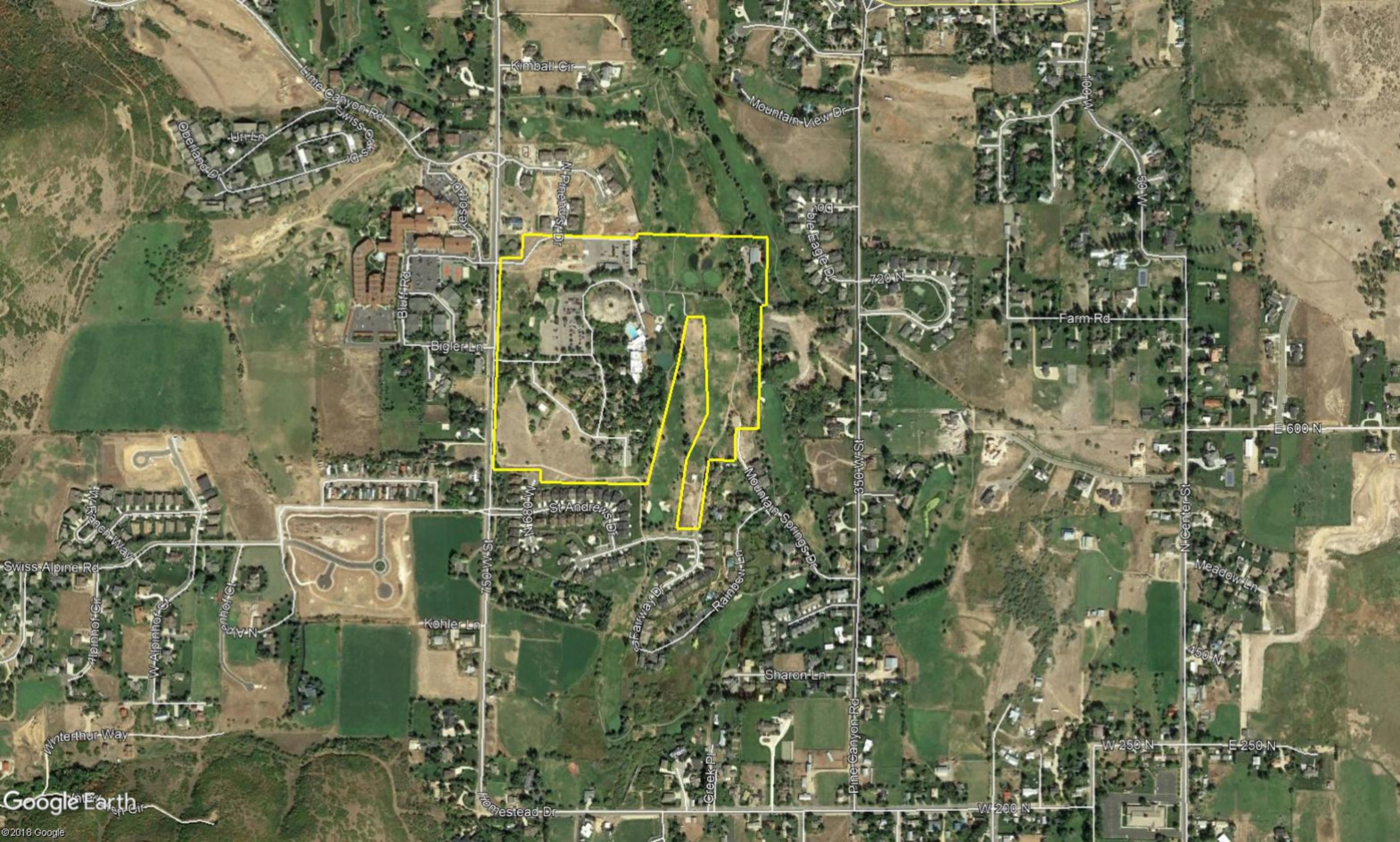
Prior to accepting building permit applications for this project, the developer will need to have a pre-construction meeting with Midway City Engineer Wes Johnson and be granted substantial completion in writing by Midway City Engineer Wes Johnson. As the Fire Marshal I will need to verify fire hydrant locations and fire apparatus access road widths are installed per approved plans prior to permits being issued.

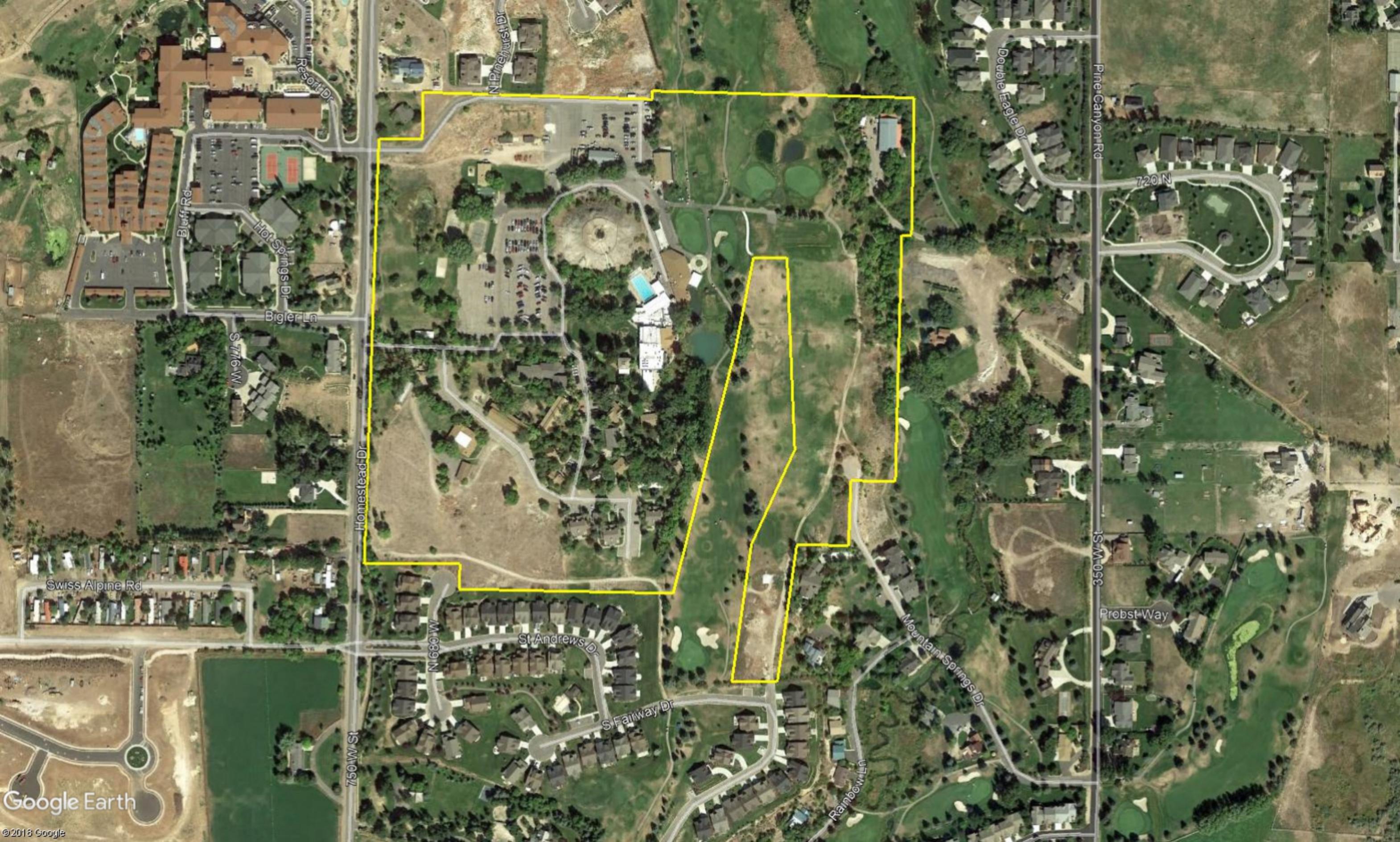


Tex R. Couch CBO/MCP/CFM
Midway City Building Official/Fire Marshal
75 West 100 North
Midway, Utah 84049
tcouch@midwaycityut.org
(435)654-3223 Ext. 107

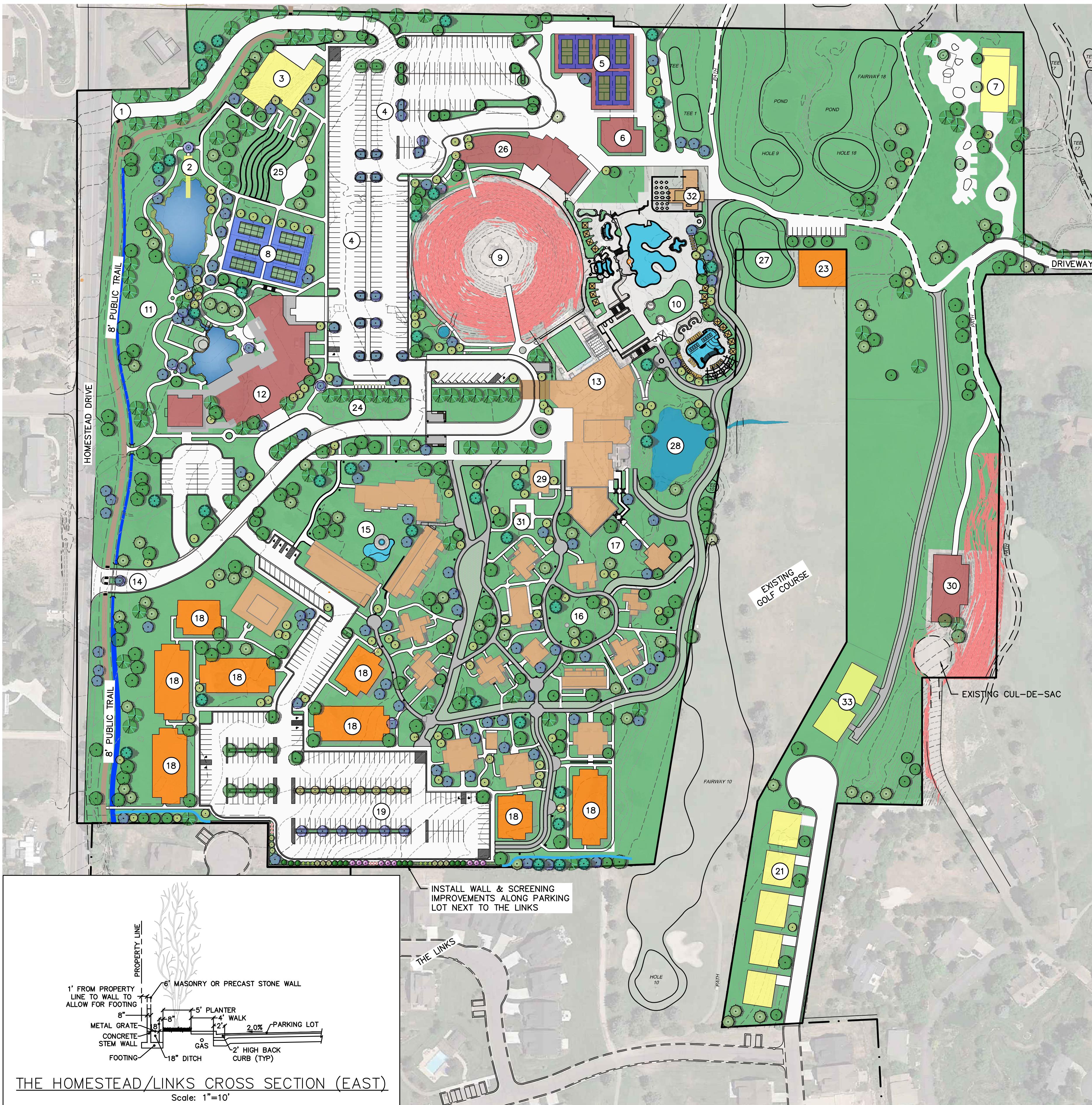
Our vision for the City of Midway is to be a place where citizens, businesses and civic leaders are partners in building a city that is family-oriented, aesthetically pleasing, safe, walkable and visitor friendly. A community that proudly enhances its small-town Swiss character and natural environment, as well as remaining fiscally responsible.







Google Earth



Path: \\BERGSESRV\Shared\PROJECTS\Homestead\2024 Resort Revised Master Plan for Shakespeare\PRELIMINARY\
file name: 01_MASTER PLAN.dwg | Plot date: May 02, 2024 | plotted by: Paul

LEGEND

-  +25% UNBUILDABLE SLOPES
-  EXISTING BUILDINGS
-  APPROVED 2021 MASTER PLAN BUILDING THAT HAVE NOT BEEN CONSTRUCTED
-  APPROVED 2021 MASTER PLAN BUILDINGS BUT WITH A REVISED BUILDING LAYOUT OR NEW LOCATION
-  PROPOSED NEW CONDO BUILDINGS IN 2024 AMENDED PLAN
-  GRASS PAVER FIRE LANE

MASTER PLAN LEGEND:

- (1) SECONDARY ACCESS TO PARKING, GOLF, SPA, AND DIVE/ACTIVITY CENTER
 - (2) BOAT HOUSE WITH OVER-WATER DECK
 - (3) PIZZA FARM RESTAURANT WITH GREENHOUSE AND GARDEN AREA SUPPORT
 - (4) MAIN PARKING AREA
 - (5) PICKLEBALL COURTS
 - (6) GOLF CLUBHOUSE AND SPA ARRIVAL
 - (7) AQUA THERAPY SPA
 - (8) PICKELBALL COURTS
 - (9) CRATER WITH IMPROVED VIEW/AMENITY AREA AT THE TOP
 - (10) POOL AMENITY AREA WITH UPPER ADULT POOL AREA WITH INDOOR/OUTDOOR POOL, SPAS, INFINITY EDGE POOL, CABANAS, AND A LOWER FAMILY POOL AREA WITH ZERO-ENTRY POOL, WATERFALLS, TODDLER AREA WITH VIEWS OF MAIN POOL AREA, SLIDE, FIRE PITS, CABANAS, GUEST SERVICES ACCESS BELOW FITNESS
 - (11) PASTURE AND ORCHARD AREA ALONG HOMESTEAD DRIVE
 - (12) WEDDING BARN WITH ACCESS TO NEW POND AREA. NEW 2024 BUILDING LAYOUT
 - (13) NEW CENTER HOUSE WITH PORTE COCHERE ARRIVAL
 - (14) MAIN ARRIVAL DRIVE RELOCATED TO THE SOUTH TO CREATE MORE MEANDERING APPROACH
 - (15) FAMILY REUNION UNITS WITH OPEN LAWN, NATURAL THEMED SPLASH PAD, PLAYGROUND AREA AND FIRE PITS
 - (16) GARDEN VIEW UNITS WITH MULTIPLE GARDENS WITH PATHWAYS, WATER FEATURES AND SEATING
 - (17) BALLROOM FUNCTION LAWN AND WEDDING PAVILION
 - (18) FUTURE GUEST CONDO UNITS
 - (19) GUEST PARKING AREA
 - (20) GOLF LEARNING CENTER (BUILDING REMOVED FROM MASTER PLAN. USE INCLUDED IN GOLF CLUBHOUSE)
 - (21) SINGLE FAMILY HOMES (5)
 - (22) HORSE STABLE AND BARN (REMOVED FROM MASTER PLAN)
 - (23) GOLF WARM-UP CAGE
 - (24) FUNCTION LAWN WITH ROSE ARBOR STRUCTURE TO PROVIDE SHELTER AND SEPARATION BETWEEN LAWN AND ADJACENT PARKING / FUTURE PARKING EXPANSION IF NEEDED
 - (25) AMPHITHEATER AND STAGE AREA
 - (26) NEW ACTIVITY CENTER
 - (27) RELOCATED PUTTING GREEN
 - (28) ENHANCED POND WITH TERRACES, WATER FALLS AND BON FIRE LOCATION.
 - (29) VIRGINIA HOUSE UPDATES FOR GUEST CHECK-IN

THIS DOCUMENT IS INCOMPLETE
AND IS RELEASED TEMPORARILY
FOR INTERIM REVIEW ONLY. IT IS
NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES.

THE HOMESTEAD GROUP LLC
2024 PRELIMINARY PLANS

2024 MASTER PLAN



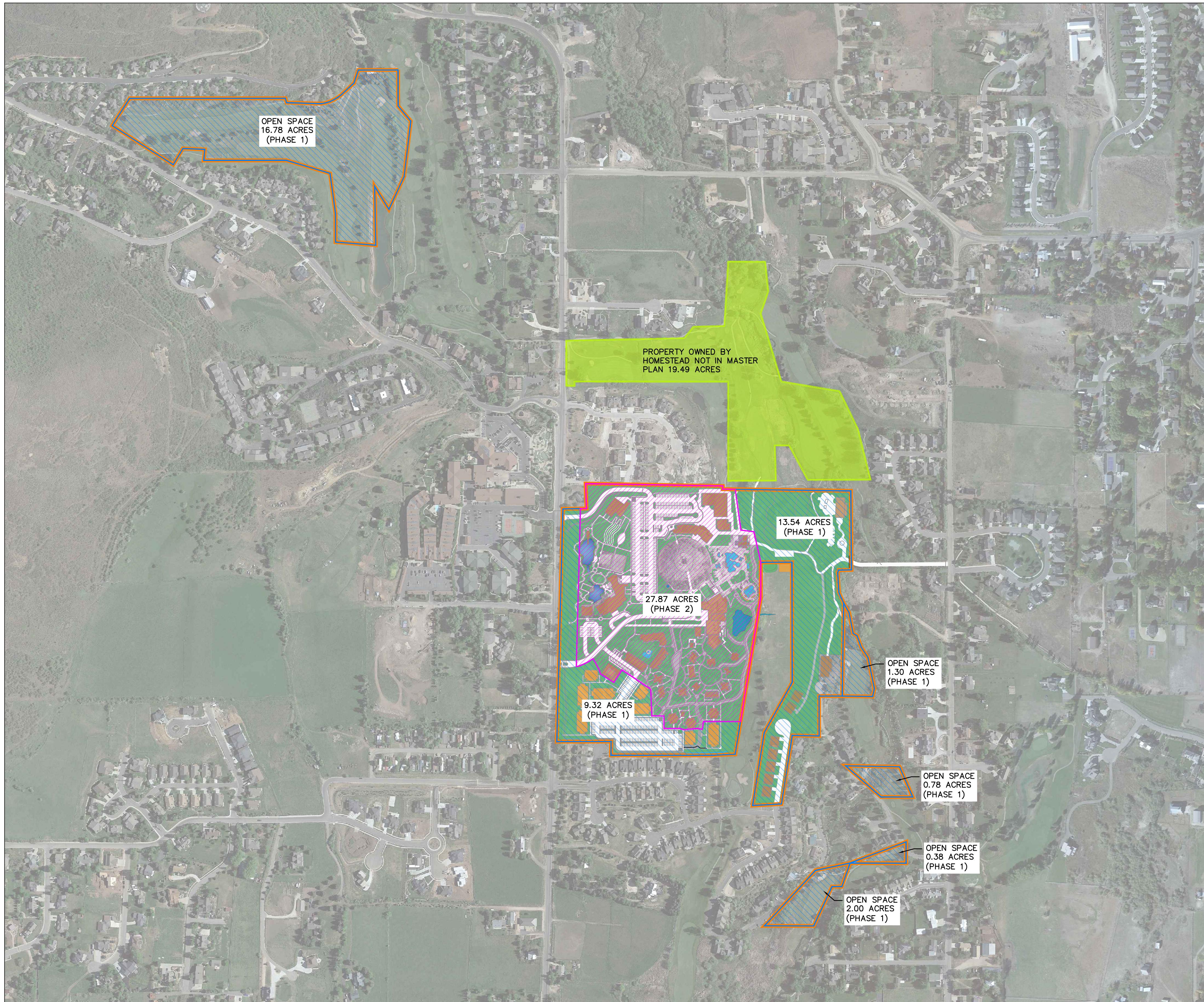
SCALE: 1"=100'

Scale 1 = 200 for 11x17

2024 MASTER PLAN



DESIGN BY: PDB DATE: 10 APR 2024 SHEET
DRAWN BY: DEJ REV: 1



LEGEND

- RESORT MASTER PLAN: 71.97 ACRES
- OPEN SPACE IN RESORT MASTER PLAN: 55.79 ACRES
- HOMESTEAD PROPERTY NOT IN MASTER PLAN
- PHASE 1 PLAT AREA
TOTAL AREA 44.10 ACRES
OPEN SPACE 35.44 ACRES (80.36%)
- PHASE 2 PLAT AREA
TOTAL AREA 27.87 ACRES
OPEN SPACE 20.35 ACRES (73.02%)



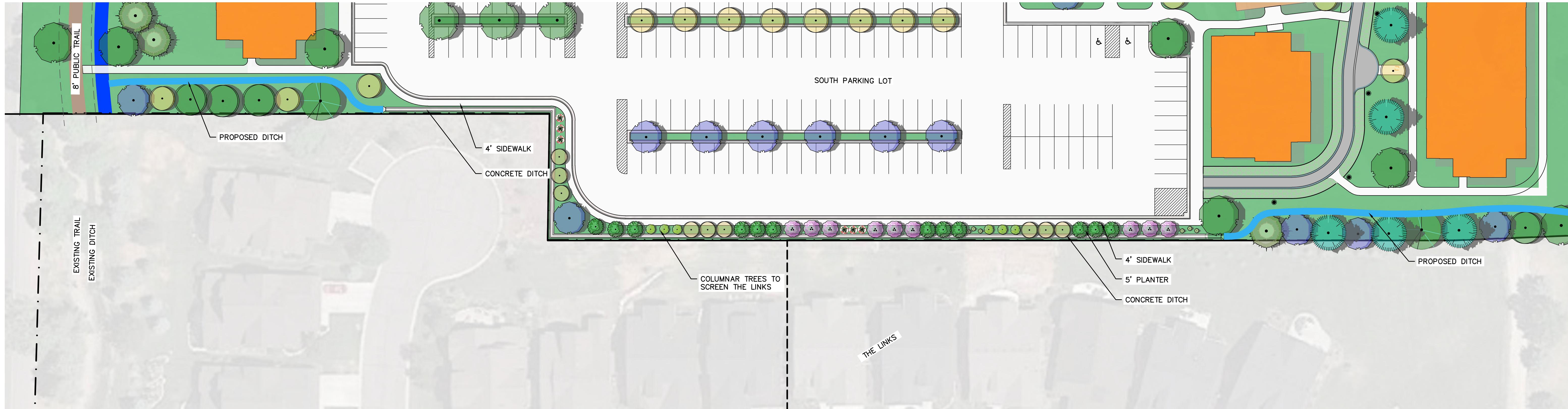
SCALE: 1"=300'
Scale 1" = 120' for 11x17

THE HOMESTEAD GROUP LLC
2024 PRELIMINARY PLANS

PROPOSED PLATTING PLAN

BERG ENGINEERING
380 E Main St, Suite 204
Midway, Ut 84049
ph 435.657.9749

DESIGN BY: PDB DATE: 1 MAY 2024
DRAWN BY: DEJ SHEET EX2
REV:



The diagram illustrates a cross-section of a property line, labeled "PROPERTY LINE" vertically along the left edge. A vertical dimension line indicates a distance of "1' FROM PROPERTY LINE TO WALL TO ALLOW FOR FOOTING". A horizontal dimension line shows a "6' MASONRY OR PRECAST STONE WALL" extending from the property line. Below the wall, a "METAL GRATE" is shown resting on a "CONCRETE STEM WALL". A "FOOTING" is indicated at the base of the stem wall. To the right of the wall, a "18" DITCH" is shown, separated from a "PARKING LOT" by a "2' HIGH BACK CURB (TYP)". A "GAS" pipe is located near the curb. A "4' WALK" leads from the curb area towards the parking lot. A slope indicator shows a "2.0%" grade for the walkway.

PROPERTY LINE

1' FROM PROPERTY LINE TO WALL TO ALLOW FOR FOOTING

6' MASONRY OR PRECAST STONE WALL

5' PLANTER

4' WALK

PARKING LOT

2.0%

18"

8"

METAL GRATE

CONCRETE STEM WALL

GAS

FOOTING

18" DITCH

2' HIGH BACK CURB (TYP)



MASONRY WALL COLOR OPTION

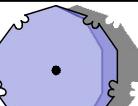
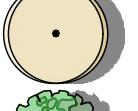


MASONRY WALL OPTION



PRECAST STONE WALL OPTION :

PLANT SCHEDULE SOUTH BOUNDARY

<u>SYMBOL</u>	<u>QTY</u>	<u>COMMON / BOTANICAL NAME</u>	<u>CONT</u>	<u>CAL</u>
DECIDUOUS TREES				
	1	Autumn Brilliance Apple Serviceberry / <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	B & B	2.5" Cal
	9	Columnar Purple Beech / <i>Fagus sylvatica</i> 'Dawyck Purple'	B&B	2" Cal
	6	Columnar Green Beech / <i>Fagus sylvatica</i> 'Fastigiata'	B&B	2" Cal
	9	Swedish Aspen / <i>Populus tremuloides</i> erecta	B&B	2" Cal
	12	Pyramidal English Oak / <i>Quercus robur</i> 'Fastigiata'	B&B	2" Cal



THE HOMESTEAD GROUP LLC
2024 PRELIMINARY PLANS

SOUTH BOUNDARY PLAN

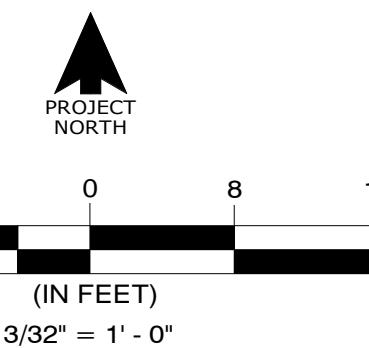
THIS DOCUMENT IS INCOMPLETE
AND IS RELEASED TEMPORARILY
FOR INTERIM REVIEW ONLY. IT IS
NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES.

The logo for BERG ENGINEERING. It features the word "BERG" in large, white, sans-serif letters inside a blue diamond shape with a black border. To the right of the diamond, the word "ENGINEERING" is written in large, bold, black capital letters. Below this, the address "380 E Main St. Suite 204" and the zip code "Midway, Ut 84049" are in black, followed by the phone number "ph 435.657.9749" in a smaller font.

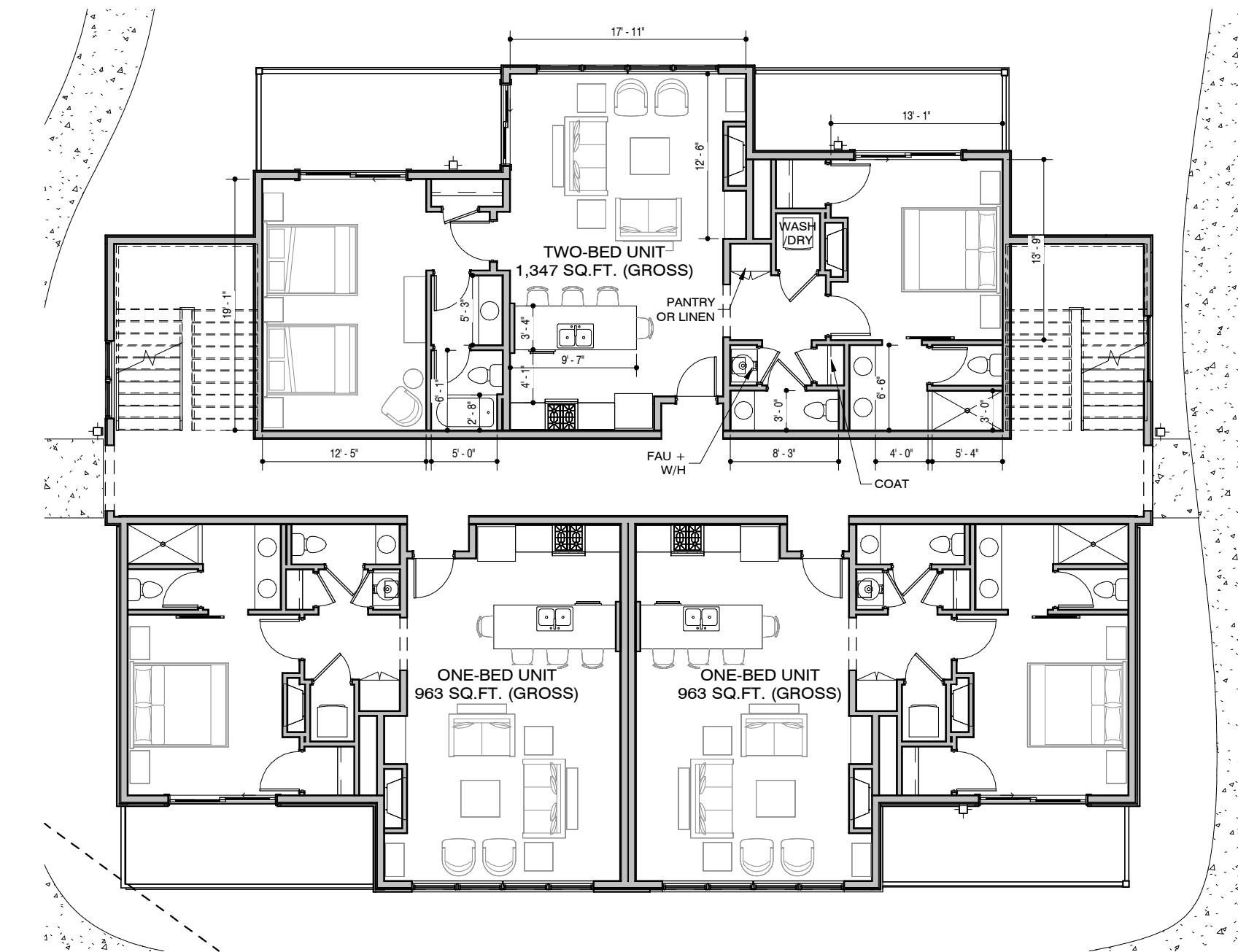
DESIGN BY: PDB DATE: 1 MAY 2024 SHEET
DRAWN BY: DA REV: 20







6-UNIT BLDG - LEVEL 1 FLOOR PLAN
3/32" = 1'-0"



6 UNIT BUILDING

4/2/2024
PRELIMINARY
SUBJECT TO
REVISION

SHEET ISSUE DATE:
AA02

BH Architecture
(435) 701-7000 | www.BHA.Design

C 2024

REVISIONS	ISSUES
	BHA PROJ. #BH23051

DESCRIPTION	REV. DATE

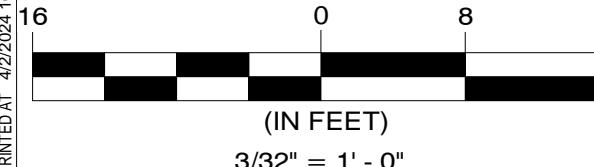
LEVEL 1 FLOOR PLAN - VERSION 2

3/32" = 1'-0"



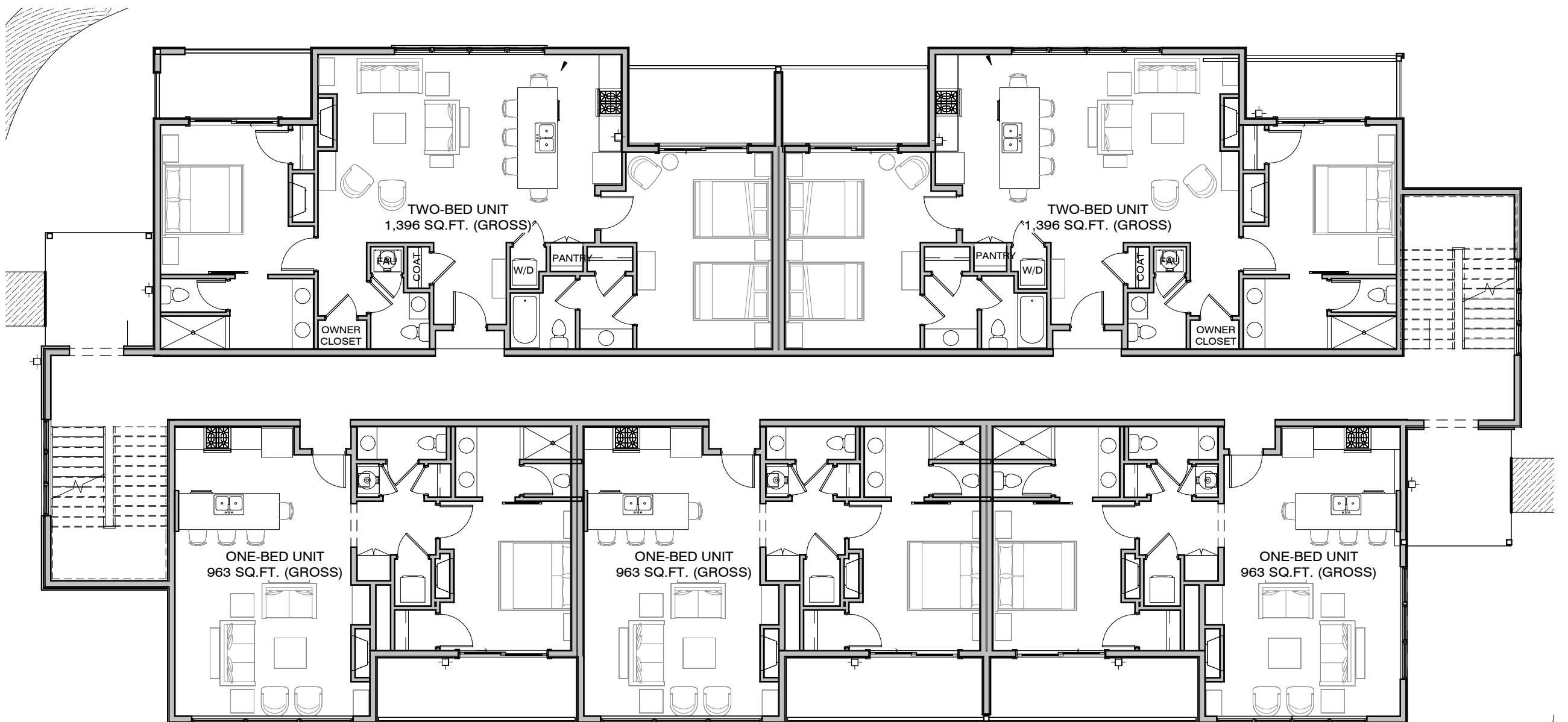
10 UNIT BUILDING

BOTH FLOORS SIMILAR



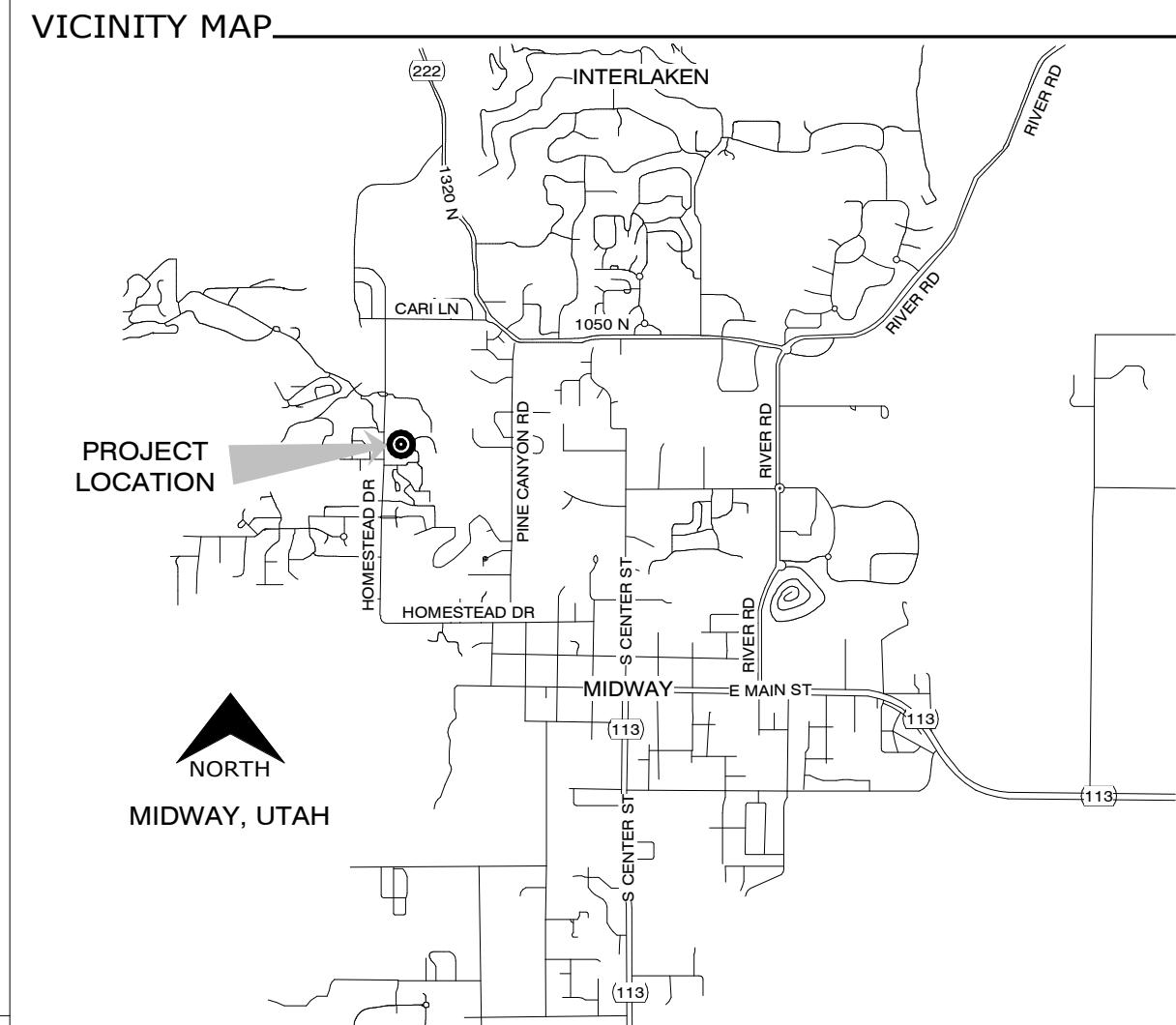
REVISIONS	ISSUES	REV. DATE	IS. DATE
K			

BHA PROJ. #BH23051



© 2023

PROJECT TEAM	
ARCHITECT	CIVIL ENGINEER
BH ARCHITECTURE 1452 S 6300 W CEDAR CITY, UT 84720 (435) 701-7000 CONTACT: BRANDON HALL	BERG ENGINEERING 380 EAST MAIN SUITE 204 MIDWAY, UTAH 84049 (435) 657-9749 CONTACT: PAUL BERG
INTERIOR DESIGNER	LANDSCAPE ARCHITECT
AUBREY PUGMIRE INTERIOR DESIGN aubrey@aubreypugmire.com (801) 669-2610 CONTACT: AUBREY PUGMIRE	FFKR 730 PACIFIC AVENUE SALT LAKE CITY, UTAH 84104 (801) 517-4359 CONTACT: ABRAM NIELSEN
ELECTRICAL ENGINEER	STRUCTURAL ENGINEER
TAGUS ENGINEERING 449 W THORLEY DRIVE HEBER CITY, UTAH 84036 (385) 232-9137 CONTACT: PHILIP HAIGHT	VECTOR ENGINEERS 651 W GALLUP PARK BLVD, SUITE 101 DRAPER, UT 84020 (801) 990-1775 CONTACT: RUSSELL IRION
WATER/POND ENGINEER	MECHANICAL ENGINEER
CLOWARD H2O 2902696 NORTH UNIVERSITY AVE #290 PROVO, UTAH 84604 (801) 375-1223 CONTACT: DAN ALRED	SHAKESPEARE ENGINEERING 4241 SOUTH RIVER RD, STE. B ST. GEORGE, UT 84770 (801) 493-9744 CONTACT: SEAN JONES, P.E.
FIRE PROTECTION	
TBD	

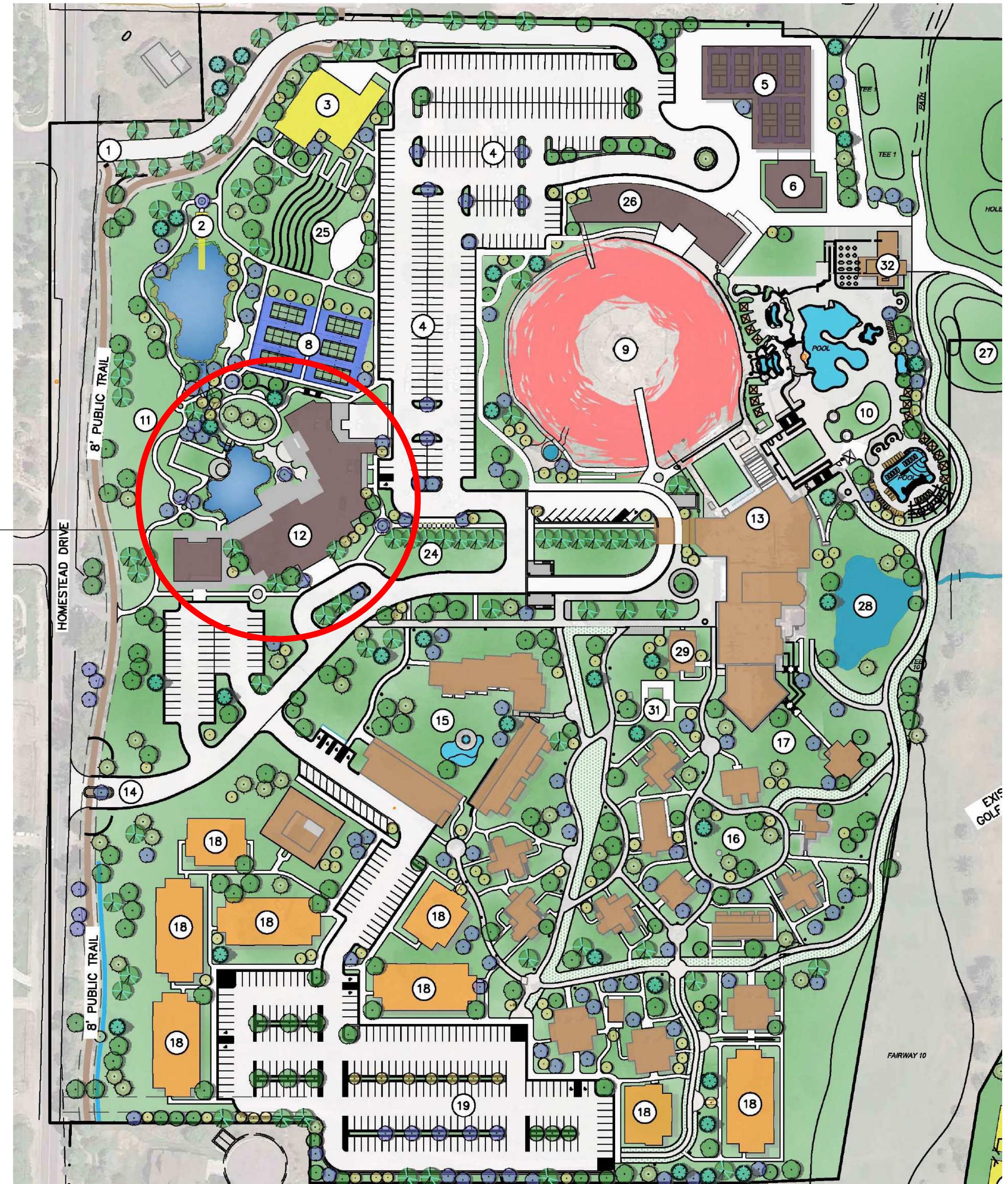


HOMESTEAD EVENT BARN

700 N HOMESTEAD DRIVE,
MIDWAY UT, 84049

SUBMITTAL TO VISION & ARCHITECTURE COMMITTEE

EVENT BARN



PROJECT INFORMATION	
1. PROJECT NAME	6. AUTHORITY HAVING JURISDICTION HOMESTEAD EVENT BARN MIDWAY CITY
2. CLIENT/OWNER NAME	7. ZONING THE HOMESTEAD GROUP, LLC RZ (RESORT ZONE)
3. PROJECT NUMBER	8. OVERLAY/OTHER ZONING BH23053 N/A
4. PARCEL NUMBER	9. SETBACKS 100' FROM HOMESTEAD DR.
5. PROJECT ADDRESS	10. MAXIMUM BUILDING HEIGHT 700 N HOMESTEAD DRIVE, MIDWAY UT, 84049 40' FROM NATURAL GRADE
	11. OTHER ZONING NOTES

CODE ANALYSIS	
SITE ADDRESS:	JURISDICTION: MIDWAY CITY 700 N HOMESTEAD DRIVE, MIDWAY UT, 84049
PROJECT TYPE/DESCRIPTION:	EVENT "BARN" WITH SUPPORTING ROOMS AND COMMERCIAL KITCHEN
ZONING:	RZ (RESORT ZONE)
1. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES (INCLUDING ALL APPLICABLE LOCAL AMENDMENTS, CODES, ORDINANCES, AND REQUIREMENTS SET FORTH BY THE AUTHORITY HAVING JURISDICTION):	
2021 IBC - INTERNATIONAL BUILDING CODE	
2021 IPC - INTERNATIONAL PLUMBING CODE	
2021 IFC - INTERNATIONAL FIRE CODE	
2021 IMC - INTERNATIONAL MECHANICAL CODE	
2020 NEC - NATIONAL ELECTRICAL CODE	
2021 IECC - INTERNATIONAL ENERGY CONSERVATION CODE (COMMERCIAL PROVISIONS)	
2017 ICC A117.1 - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES	
2. OCCUPANCY CLASSIFICATION: (IBC CH. 3)	10. TYPE OF CONSTRUCTION: (IBC CHAPTER 6) A-2 V-B
3. HEIGHT IN FEET: (IBC 504.3, TABLE 504.3)	11. FIRE SPRINKLERS: (IBC 903, 903.3) YES ALLOWABLE: 60 ACTUAL: 34 TYPE: NFPA13 CONCEALED
ALLOWABLE: 60 ACTUAL: 34	
4. HEIGHT IN STORIES: (IBC 504.4, TABLE 504.4)	12. FIRE ALARM: (IBC 907) YES ALLOWABLE: 2 ACTUAL: 1 TYPE: PER IBC SECTION 907
ALLOWABLE: 2 ACTUAL: 1	
5. AREA: (IBC 506) ("BUILDING AREA" PER CODE)	13. ROOF ASSEMBLY, MAT. CLASS: (IBC TAB 1505.1) SEE ROOF PLAN GENERAL NOTES
ALLOWABLE: 10,500 ACTUAL: 28,420	
ALLOWABLE AREA (EQUATION 5-1):	14. SPECIAL INSPECTION(S): (CHAPTER 17) SEE CITY FORM & STRUCTURAL SHEETS
$A = A_1 + (NS \times A_2)$	
$A_1 = 24,000 + (6,000 \times 0.75)$	15. CLIMATE ZONE: (IECC C301) WASATCH COUNTY, UT = 6B
$A_2 = 28,500 \text{ SF}$	
6. FIRE RESISTANCE RATING OF BUILDING ELEMENTS: (IBC TABLE 601)	16. I.E.C.C. COMPLIANCE REPORT(S): SEE ATTACHED
NONE	
7. REQUIRED FIRE RESISTANCE OF EXTERIOR WALLS: (IBC TAB. 601, SEC. 705, TAB. 705.5)	17. FIRE FLOW: (IFC TABLES B105.2 & B105.1(2)) 1,125 GPM @ 2-HR DURATION, 20 PSI RES.
NONE	
8. MIXED USE AND OCCUPANCY (ACCESSORY, NON-SEPARATED OR SEPARATED) WITH SEPARATION: (IBC 508.2, 508.3, 508.4)	18. PARKING SPACES: COMPLIES, SEE SITE PLAN
NOT APPLICABLE	
9. PROTECTION OF OPENINGS DUE TO LOCATION ON PROPERTY AND MAXIMUM AREA OF EXTERIOR WALL OPENINGS: (IBC 705.8 & TABLE 705.8)	19. OCCUPANT LOAD: (IBC 1004 & TABLE 1004.1.2) SEE CODE, EXITING & OCCUPANCY SHEET
NOT APPLICABLE	
	20. PLUMBING FIXTURES: (IBC 2902.1) SEE CODE, EXITING & OCCUPANCY SHEET

SHEET INDEX	
COVER SHEET	
FLOOR PLAN	
COLOR RENDERINGS	
MATERIALS BOARD	
ELEVATIONS	

COVER SHEET
HOMESTEAD EVENT BARN
700 N HOMESTEAD DRIVE,
MIDWAY UT, 84049

PROJECT #: BH23053

© 2023

SHEET ISSUE DATE:
3/18/2024

G001



BH Architecture
Schematic Design



BH Architects
Schematic Design



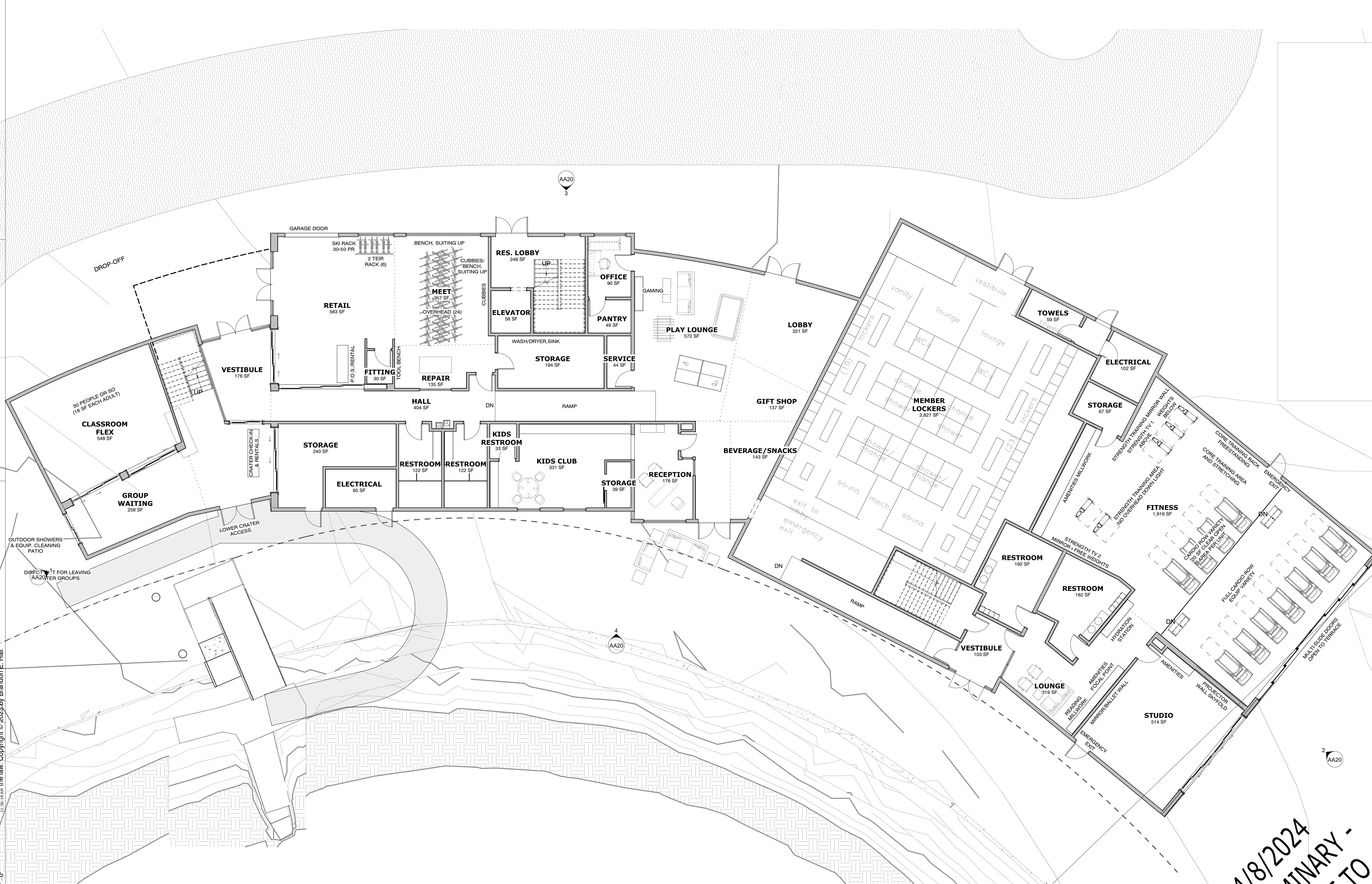
BH-Architect
Schematic Design



BHArchite
Schematic Design

This drawing, as an instrument of professional service, is the property of BRANDON E. HALL, and shall not be used, in whole or part, for any other project without the written permission of Brandon E. Hall.

A vertical graphic scale with horizontal tick marks at intervals of one foot, ranging from 0 to 10. The scale is labeled "IN FEET" at the bottom.



1 | ACTIVITY CENTER - SPACE PLAN

**4/8/2024
PRELIMINARY -
SUBJECT TO
REVISION**

CONCEPT LEVEL 1

HOMESTEAD ACTIVITY CENTER

HOMESTEAD DR. MIDWAY, UT

PROJECT #:
BH23054

Architect
(435) 701-7000
www.BHA.DESIGN

(C) 2024
SHEET ISSUE DATE:

1

—

A A 21

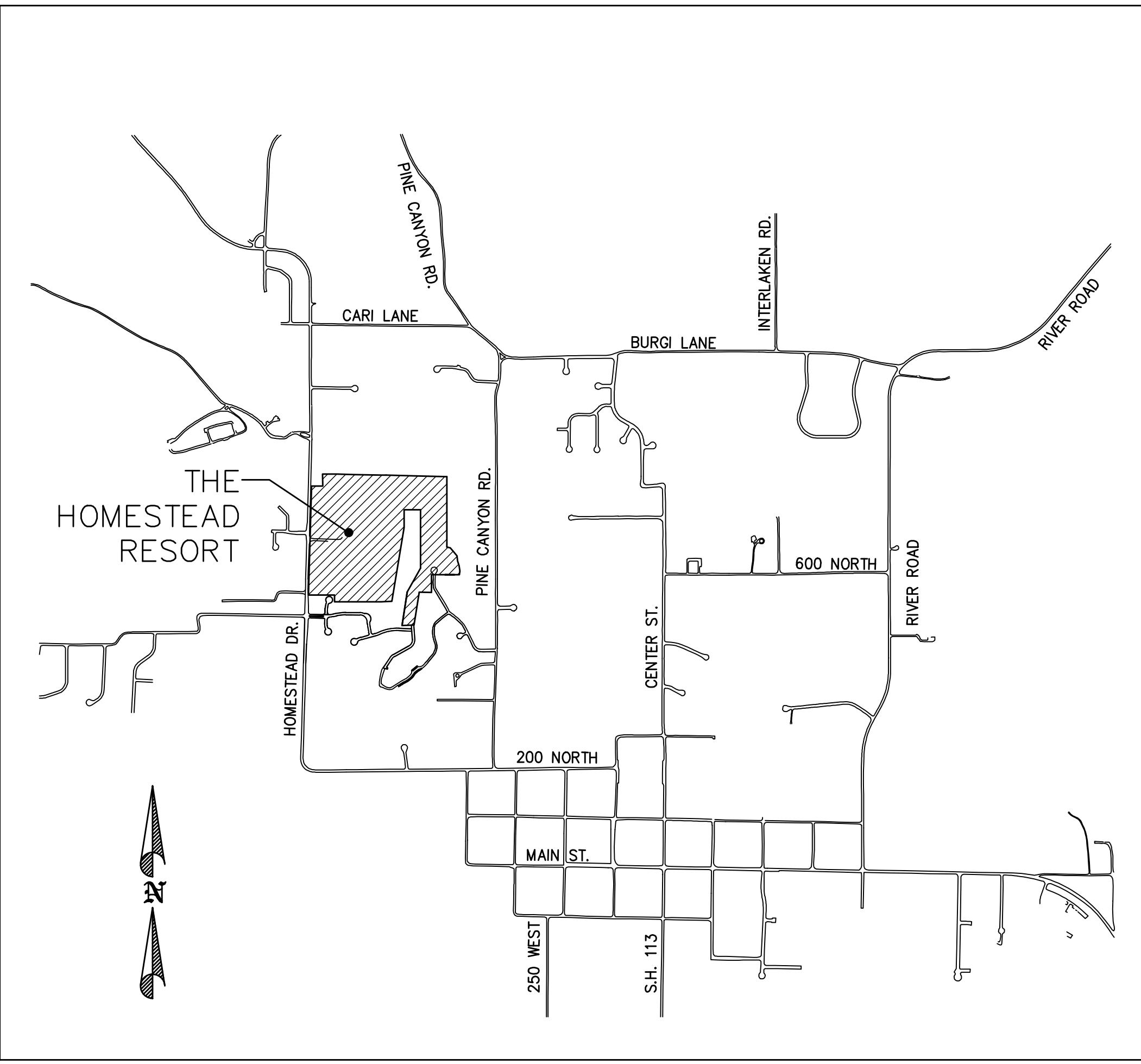
ΔΔ01

101

10 of 10

THE HOMESTEAD

2024 PRELIMINARY PLANS



MIDWAY CITY
VICINITY MAP

SHEET INDEX

1. MASTER PLAN
2. CONSTRUCTION PHASING PLAN
3. HOMESTEAD DRIVE IMPROVEMENTS
4. NEW ENTRY ROAD PLAN & PROFILE - STA 0+00 - 10+00
5. SOUTH PARKING LOT GRADING PLAN
6. NORTH PARKING LOT GRADING PLAN
7. ROAD CONSTRUCTION DETAILS
8. UTILITY PLAN
9. WATER PLAN
10. WATER CONSTRUCTION DETAILS
11. SOUTH PARKING SEWER PLAN & PROFILE - STA 0+00 - 10+00
12. SOUTH PARKING SEWER PLAN & PROFILE - STA 10+00 - 15+63
13. NORTH PARKING SEWER PLAN & PROFILE - STA 0+00 - 8+70
14. SEWER CONSTRUCTION DETAILS
15. STORM DRAIN PLAN
16. SOUTH STORM PLAN & PROFILE - STA 0+00 - 10+59
17. NORTH STORM PLAN & PROFILE - STA 0+00 - 10+00
18. NORTH STORM PLAN & PROFILE - STA 10+00 - 15+98
19. STORM DRAIN CONSTRUCTION DETAILS

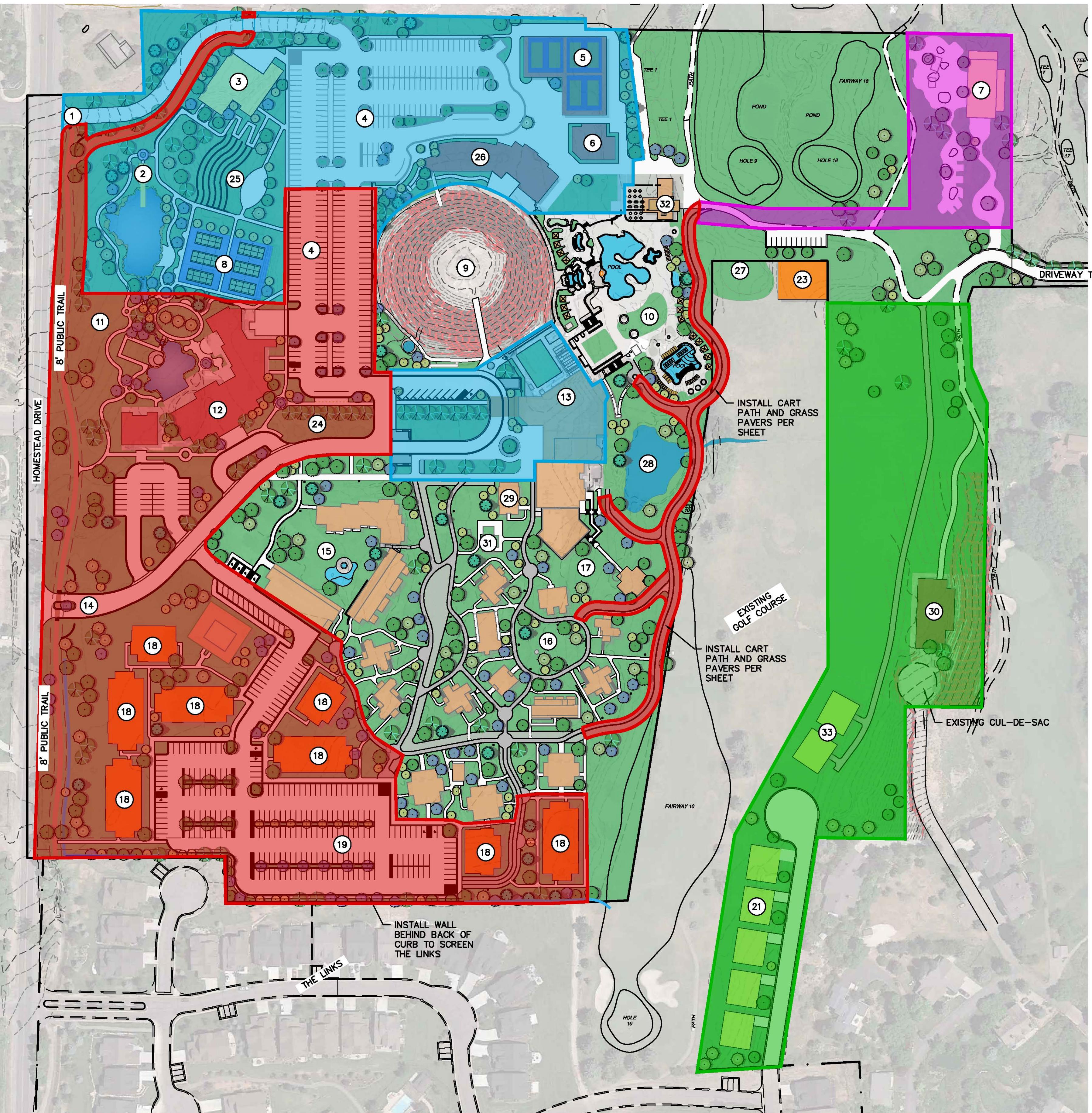
THE HOMESTEAD GROUP LLC
2024 PRELIMINARY PLANS

COVER

BERG ENGINEERING
380 E Main St, Suite 204
Midway, Ut 84049
ph 435.657.9749

THIS DOCUMENT IS INCOMPLETE
AND IS RELEASED TEMPORARILY
FOR INTERIM REVIEW ONLY. IT IS
NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES.
PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 10 APRIL 2024

DESIGN BY: PDB DRAWN BY: DEJ REV: 0



THIS DOCUMENT IS INCOMPLETE AND IS RELEASED TEMPORARILY FOR INTERIM REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 10 APRIL 2024



SCALE: 1"=100'
Scale 1" = 200' for 11x17

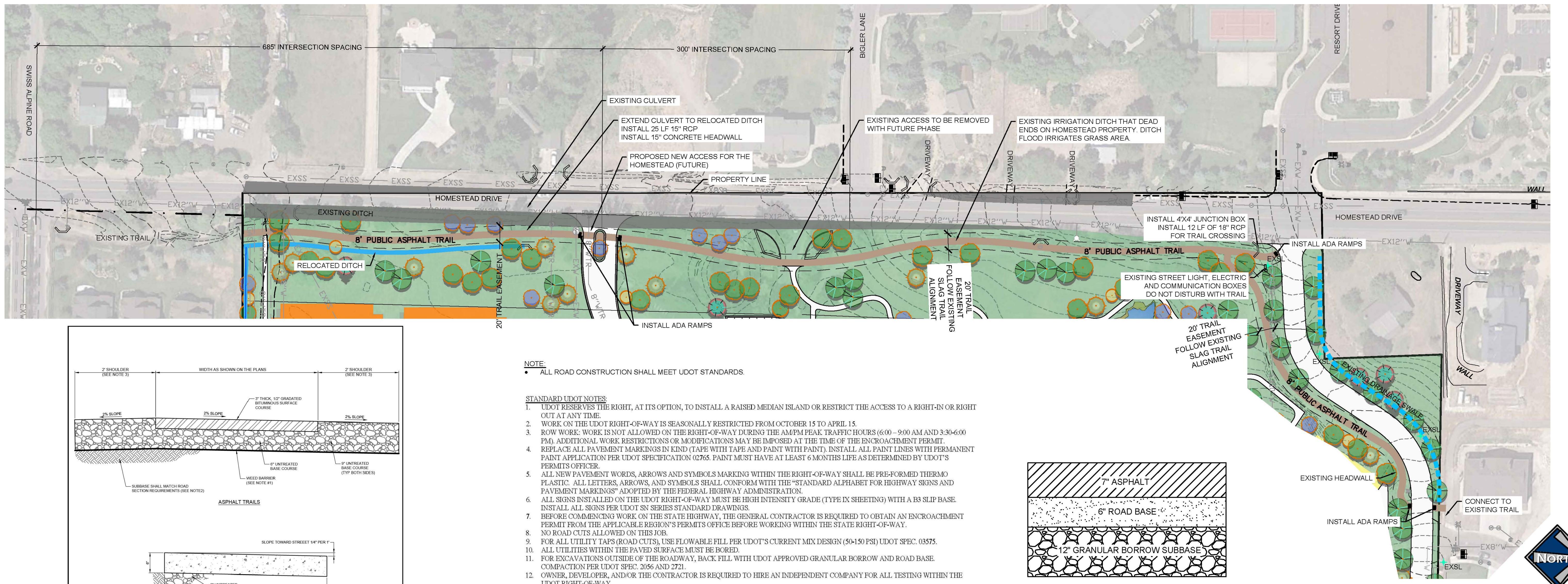
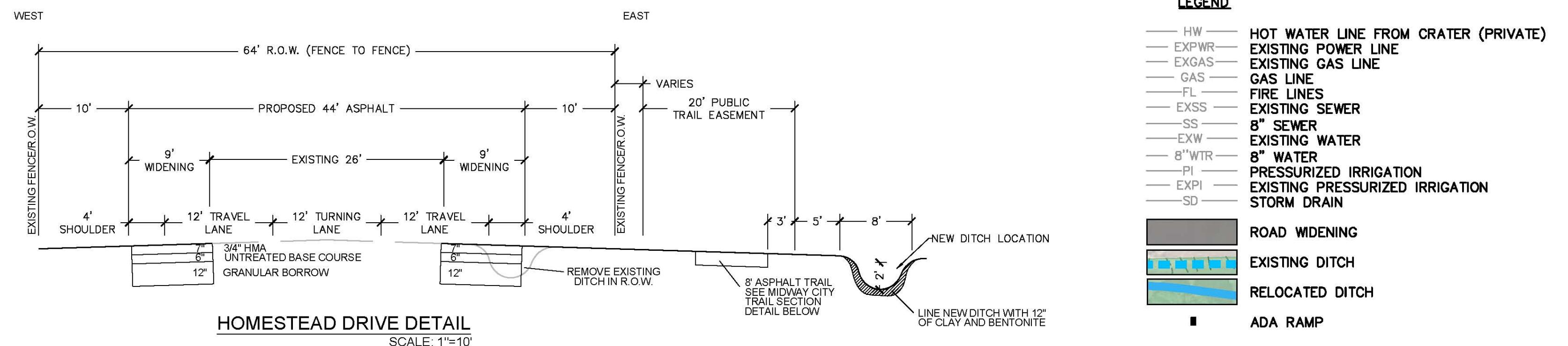
THE HOMESTEAD GROUP LLC
2024 PRELIMINARY PLANS

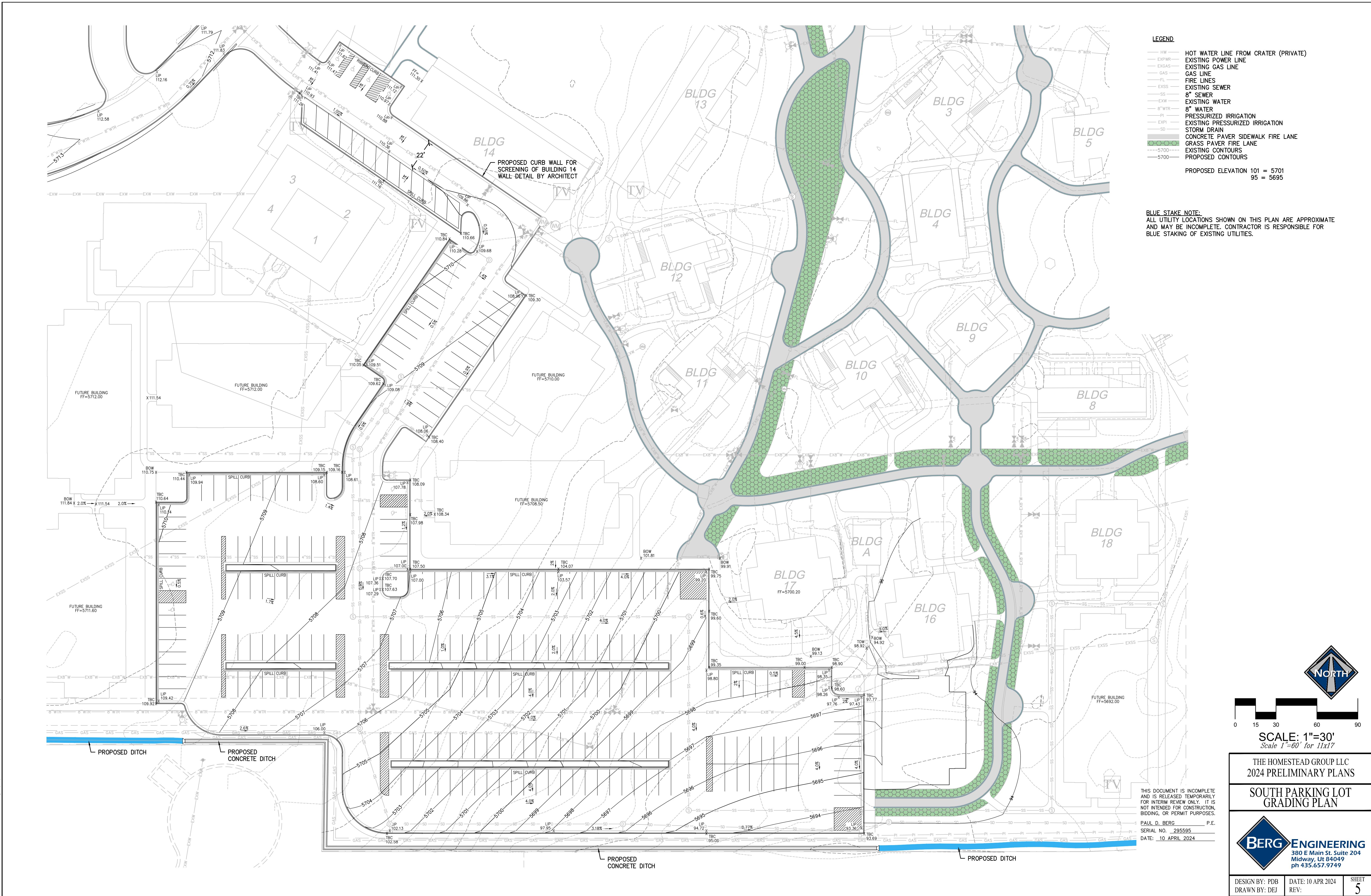
PHASING PLAN

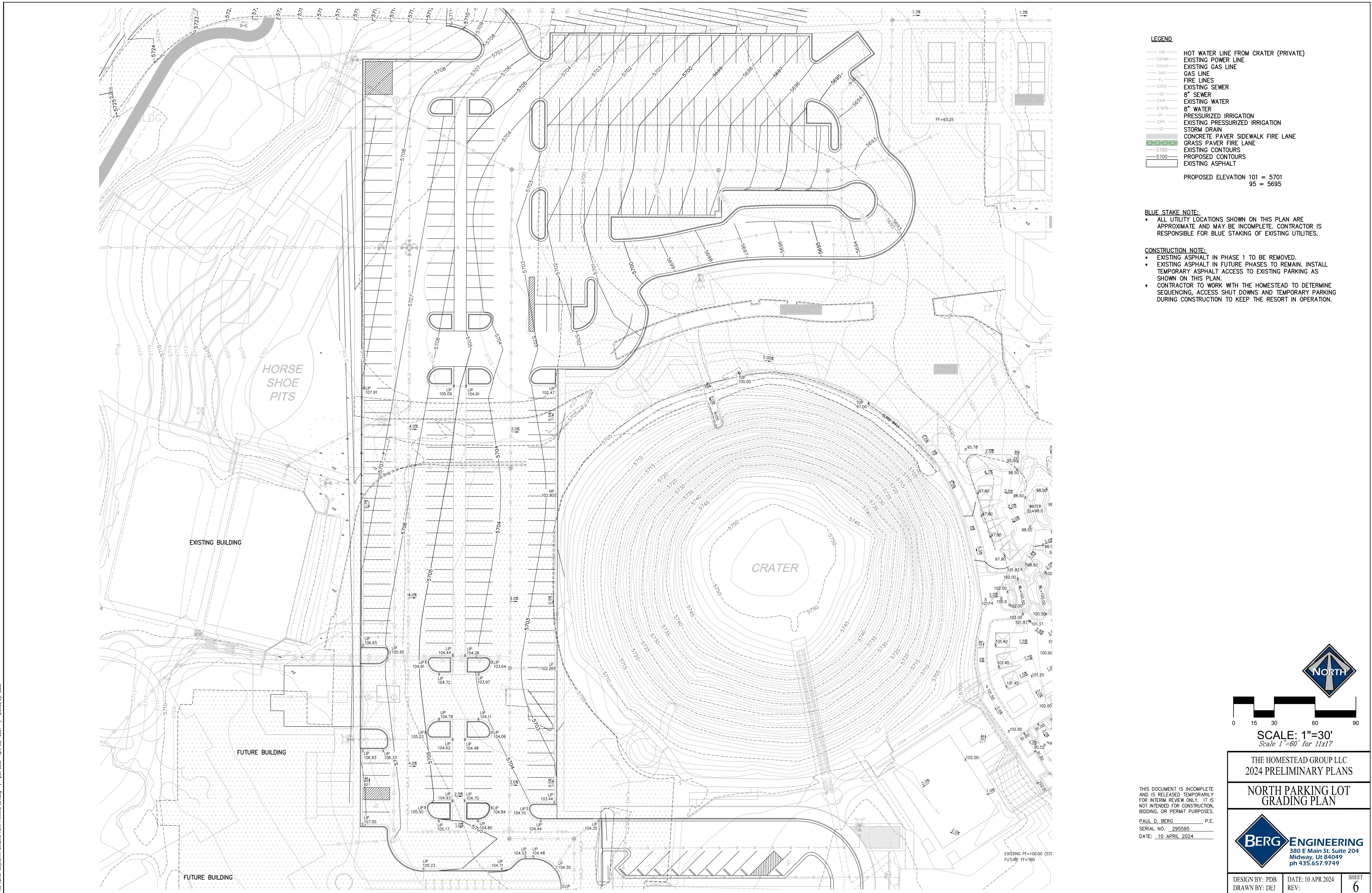


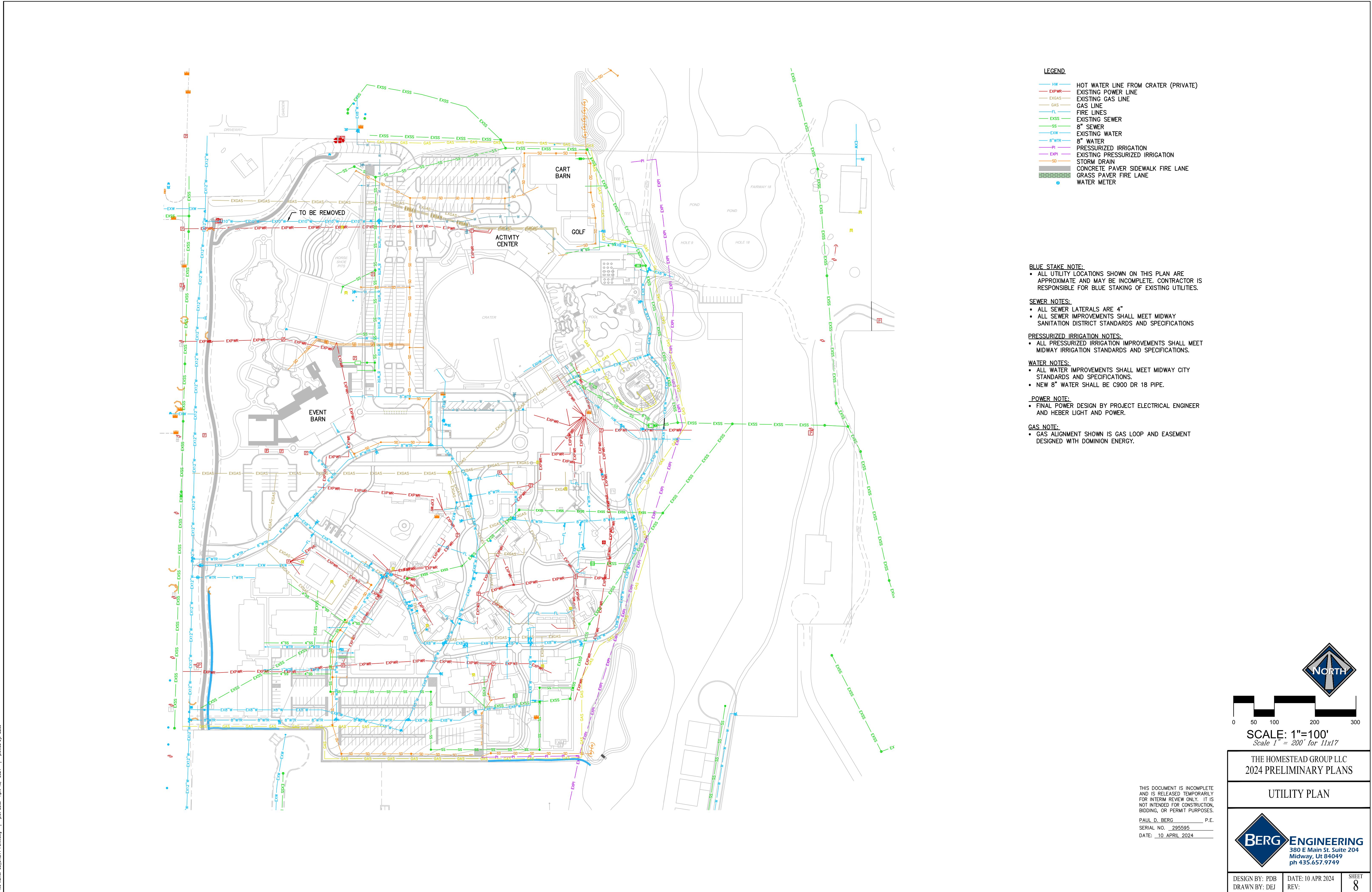
DESIGN BY: PDB
DRAWN BY: DEJ
REV: 2

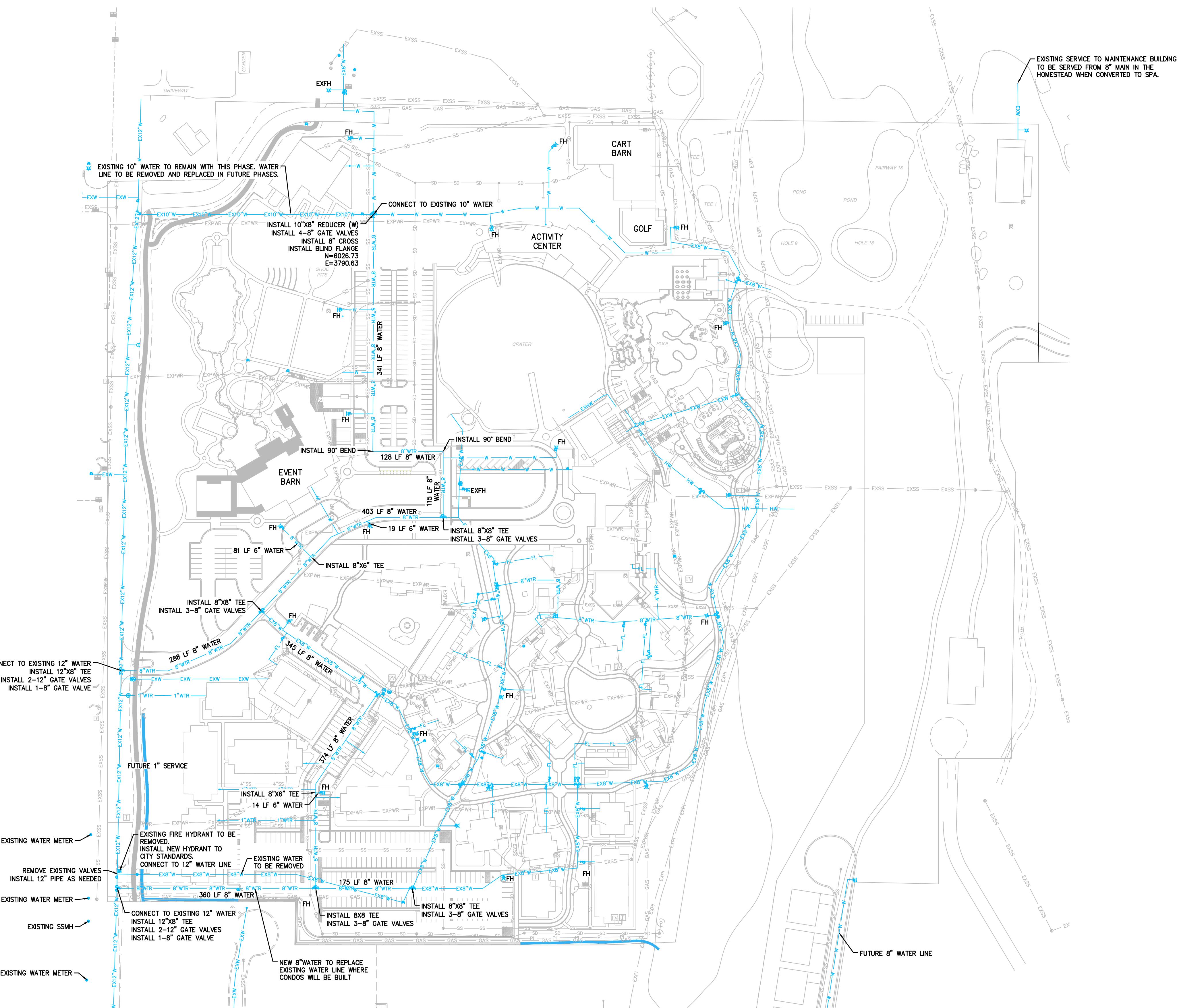
BLUE STAKE NOTE:
• LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.











SCALE: 1"=100'
Scale 1" = 200' for 1x17

THE HOMESTEAD GROUP LLC
2024 PRELIMINARY PLANS

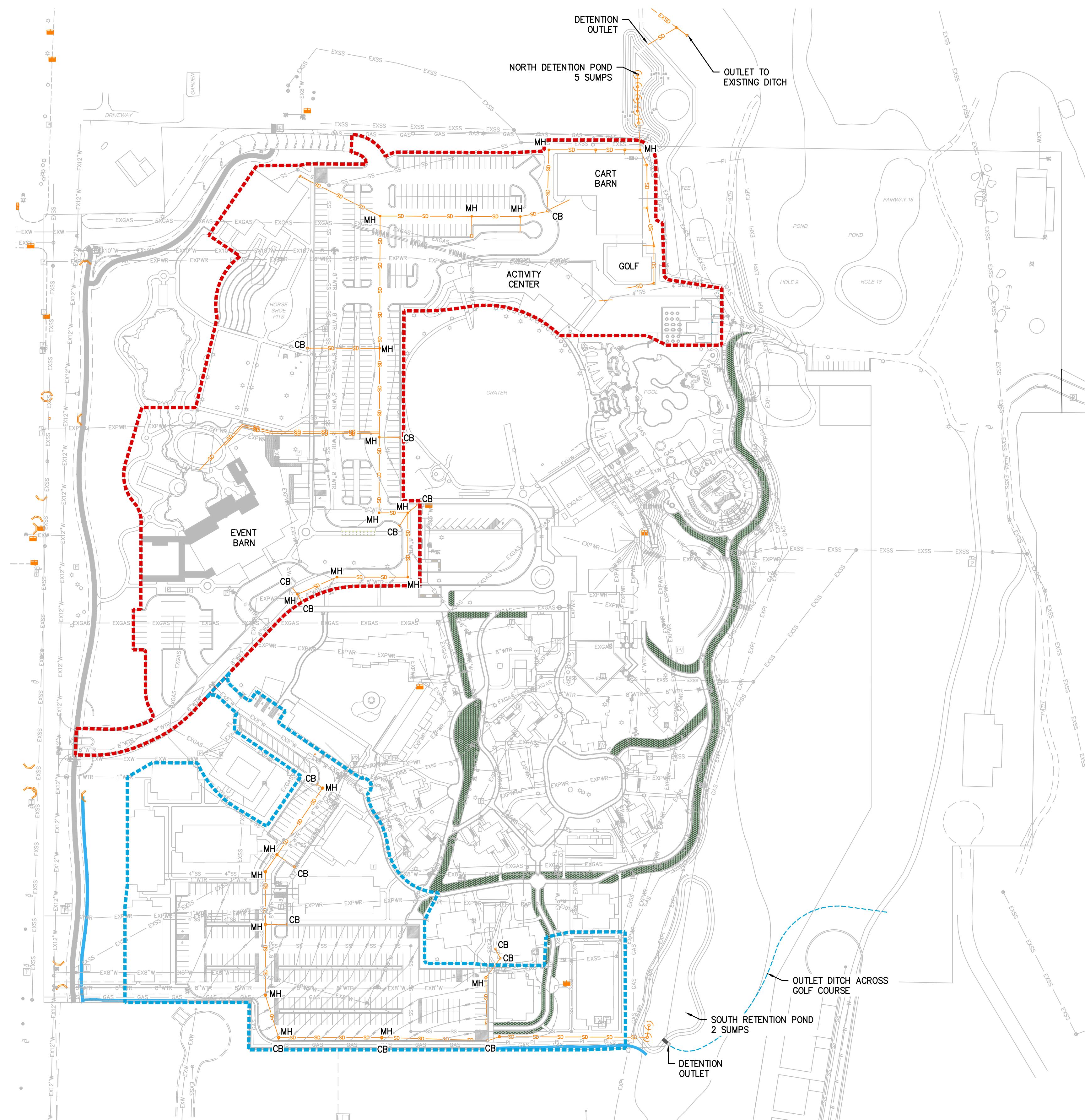
WATER PLAN



DESIGN BY: PDB DRAWN BY: DEJ REV: 9

THIS DOCUMENT IS INCOMPLETE
AND IS RELEASED TEMPORARILY
FOR INTERIM REVIEW ONLY. IT IS
NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES.

PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 10 APRIL 2024



LEGEND

HW
 EXPWR
 EXGAS
 GAS
 GAS LINE
 FL
 FIRE LINES
 EXSS
 EXS
 SS
 EXW
 8" WTR
 8" WATER
 PI
 EXPI
 SD
 STORM DRAIN
 STORM DRAINAGE AREAS
 CONCRETE PAVER SIDEWALK FIRE LANE
 GRASS PAVER FIRE LANE
 EXISTING WATER METER
 WATER METER

BLUE STAKE NOTE:

- ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF EXISTING UTILITIES.

STORM DRAIN NOTES:

- ALL STORM IMPROVEMENTS SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.

PREVIOUS PLAN APPROVAL NOTE:

- THE NORTH DETENTION POND AND RUNOFF CALCULATIONS WERE PREVIOUSLY APPROVED ON 16 MAY 2023

Homestead North Detention Pond
Storm Drain Calculations

April 10, 2024

Runoff from the north parking lot, golf proshop, cart barn, activity center, and future buildings and the new entrance road will be collected in the north detention pond.

A percolation rate of 2.0 inches per hour assumed for pot rock.
Groundwater found approximately at elevation 5678

Bottom of pond is elevation 5684.

5' sumps proposed to avoid groundwater with 1' buffer.

A 5' sump has a total volume of 471 cf.

A 5' sump has a percolation rate of 0.015 cfs with a soils percolation rate of 2.0 inches / hour.

Drainage Area	Total Collected Buildings (acres)	C = 0.95	C = 0.90	C = 0.20	Composite Runoff Coefficient
	(acres)				
North Pond	10.10	1.47	4.10	4.53	0.59

Table 2 - 25 Year Storm Peak Runoff and Volume from North Pond

Time Period (min)	Rainfall Intensity (in / hr)	Area (acres)	Developed Runoff Coefficient	Peak Runoff Rate (cfs)	Total Runoff Volume (cf)
15	2.0	10.10	0.59	0.54	14,485
30	1.78	10.10	0.59	1.115	20,963
60	1.15	10.10	0.59	6.89	24,909
120	0.66	10.10	0.59	3.96	28,476
180	0.46	10.10	0.59	2.75	29,771
360	0.27	10.10	0.59	1.63	36,448
720	0.16	10.10	0.59	0.96	41,420
1440	0.10	10.10	0.59	0.59	51,257

Table 3 - Detention Pond Design for North Drainage Area

Time Period (min)	Total Runoff Volume (cf)	Soil Percolation Rate (inch / hour)	Allowed Release Rate (cfs / acre)	Volume Released from Pond (cf)	5'-5' Sump Volume (cf)	Percolation from Sump (cf)	Storage Needed in Pond (cf)
15	14,485	2.0	0.10	999	2,355	68	11,654
30	20,963	2.0	0.10	1,818	2,355	135	15,755
60	24,909	2.0	0.10	3,636	2,355	270	18,548
120	28,476	2.0	0.10	7,272	2,355	540	18,309
180	29,771	2.0	0.10	7,355	2,355	0	15,698
360	36,448	2.0	0.10	21,916	2,355	1,620	8,157
720	41,420	2.0	0.10	43,632	2,355	3,240	0
1440	51,257	2.0	0.10	87,264	2,355	6,480	0

Table 4 - Retention Pond Storage Volume

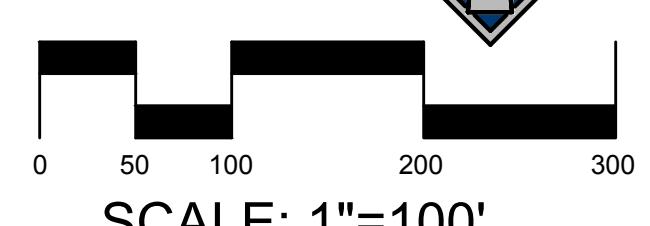
Elevation	Pond Depth (ft)	Pond Area (sf)	Pond Volume (cf)	Pond Volume (acre-ft)
5684	0.00	1,572	0	0
5685	1.00	3,404	2,508	0.06
5686	2.00	4,485	6,453	0.15
5687	3.00	6,213	11,802	0.27
5688	4.00	8,051	18,934	0.43
5689	5.00	9,997	27,958	0.64

THIS DOCUMENT IS INCOMPLETE AND IS RELEASED TEMPORARILY FOR INTERIM REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

PAUL D. BERG P.E.

SERIAL NO. 295595

DATE: 10 APRIL 2024



SCALE: 1"=100'
Scale 1" = 200' for 1x17

THE HOMESTEAD GROUP LLC
2024 PRELIMINARY PLANS

STORM DRAIN PLAN

BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

DESIGN BY: PDB DRAWN BY: DEJ REV: 15