



CITY COUNCIL MEETING STAFF REPORT

DATE OF MEETING: June 4, 2024

NAME OF PROJECT: Springer Farms

PROPERTY OWNER: Springer Farms Land Holdings LLC

AUTHORIZED REPRESENTATIVE: Travis Nokes

AGENDA ITEM: Final Approval to Subdivide Springer Farms Commercial Planned Unit Development – Condominium of Unit 4

LOCATION OF ITEM: 49 North 200 West

ZONING DESIGNATIONS: C-3

ITEM: 9

Travis Nokes is requesting Final Approval to subdivide the Robey Building of Springer Farms into a commercial condominium. The proposal would subdivide the Robey (Unit 4) building into ten units. The Robey Building will consist of seven short-term rental units on the upper floor and three commercial units on the lower floor. The property is located at 65 N 200 W and is in the C-3 zone.

BACKGROUND:

Travis Nokes, representative for Springer Farms Land Holdings LLC, is proposing final approval to subdivide Unit 4 of the Springer Farms Commercial Planned Unit Development into ten condominiums. The condominiums will consist of seven short-term rental units on the upper floor and three commercial units on the lower floor. This will allow the owner to sell each of the ten units to different entities that will be governed by the Codes, Covenants, and Restrictions (CC&Rs) of Springer Farms.

Commercial Condominiums are a conditional use in the C-3 zone. Currently, Springer Farms is a four-unit commercial planned unit development. The four units are four building sites surrounded by common area that the four units all own in common. What is being proposed is to add a plat to the recorded Springer Farms Subdivision. The new plat will be a condominium plat of Unit 4 that will divide it from one unit to ten units. Unit 4, which currently has one tax identification number, will have ten tax identification numbers. Likewise, Springer Farms, which currently has four tax identification numbers, will have 14 tax identification numbers. It is likely that Units 1-3 will also go through the same process in the future.

Unit 4 is currently under construction. There are different building code requirements for a condominium building as compared to a building in one ownership. It is staff's understanding that the building under construction is being built to the required condominium standards. As mentioned earlier, Springer Farms CC&Rs will govern all the units in the development. The landscaping and parking areas are recorded as common area and will be maintained by the Property Owners' Association.

The site is located to the west of Town Square and fronts on 200 West. The property is in the C-3 zone and commercial condominiums are allowed as a conditional use. The property is located in an important area of Midway because it surrounds the Town Square. The C-3 zone, that includes and surrounds the Town Square, is distinct from the C-2 zone which covers the majority of Main Street heading to the east. The difference between the two zones is the C-3 zone is more restrictive than the C-2 zone. For example, where the C-2 zone allows for several uses associated with vehicles such as gasoline stations and car washes, the C-3 zone is more restrictive and does not allow these types of uses. The C-3 zone is focused on restaurants, retail, offices, and other similar types of commercial uses. The purpose of this distinction is to create a walkable core to Midway that is a gathering area for the community. The City Council has recently reviewed a proposed master plan for the Town Square that will help the Town Square to be more usable year-round and a gathering place for the community. The City is also interested in compatible uses developing around the Town Square that will complement the area and create an active and vibrant Midway core. The Springer Village will help create that core with its eateries, commercial, and nightly rentals.

There are existing residents and commercial businesses in the area that will be impacted by the development and careful planning must be taken to mitigate negative impacts wherever reasonably possible. Because commercial planned unit developments are a conditional use, the City Council may require reasonable conditions to mitigate negative impacts to the neighbors and the area. Conditional uses are governed by the following standards:

- (a) A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards.

(b) If the reasonably anticipated detrimental effects of a proposed conditional use cannot be mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

The original approval of Springer Farms as a Conditional Use has the following conditions required as part of the approval and will continue to be required if Unit 4 is subdivided:

- Fencing be installed per the proposed fencing plan and compliance with City requirements.
- The windows facing off the property, on the second floor of any buildings, had to have window coverings installed on them.

LAND USE SUMMARY:

- C-3 zone
- 1.26 acres
- Unit 4 is 4,747 square feet (building footprint)
- Unit 4 will be a condominium plat
- Unit Four:
 - Three lower floor commercial units
 - Seven short-term rentals (will not include kitchens or individual laundry facilities)
- Private driveways, parking, and landscaping that will be common area and will be maintained by the Property Owners' Association

ANALYSIS:

Architectural Theme – The developer is required to receive architectural approval of all structures in a commercial planned unit development. The developer has presented renderings to the Visual Architecture Committee and has received a recommendation of approval for Unit 4.

Parking – The developer is providing 50 stalls in the proposed site plan. Based on the information provided, 44 stalls are required for the proposal (13 stalls for short-term rentals, 6.4 stalls for the west building lower floor and 4 stalls for the west building upper floor, 10.2 stalls for the south building lower floor, and 4.25 stalls for the restaurant, and 5.8 stalls for the north building).

Height of structures – Structures cannot exceed 35’ in height, measured from natural grade to the roof. Architectural elements may exceed the 35’ limit as per code.

Transient Rental Overlay District – The transient rental overlay district (TROD) covers the entire project area. The proposal is to create 13 short-term rental units (seven in Unit 4). The units will not contain kitchens or laundry facilities.

Property Owners’ Association – A Property Owners’ Association (POA) is required for any planned unit developments. It is the POA’s responsibility to maintain common areas that include landscaping, driveways, and parking areas. It is also possible that the POA will be required to maintain the outer walls, roofs, and shared areas within the buildings such as hallways and stairs. The developer has submitted the proposed Declaration of Covenants, Conditions and Restrictions which will be reviewed by the City Attorney.

Landscaping and Fencing Plan – A landscaping plan has been submitted to the City for staff and VAC review. The landscaping and fencing may help mitigate nuisance issue such as light and noise for surrounding residences. Normally fencing is not a requirement for commercial development but since a commercial condominium is a conditional use permit, fencing has been required to help mitigate nuisances. Fencing has been required along the southside of the parking lot and along the east side of the parking lot. The fencing will help shield vehicle lights from shining on the surrounding homes located in the commercial zone.

Lighting Plan – The applicant has submitted a statement that all lighting will have full cut-off as required by code. This requirement includes driveway lighting, commercial building lighting, and parking areas lighting. The purpose of the code is to assure the lights will comply the requirement of having full cut-off and to also assure that no light trespass will occur onto neighboring properties.

Dumpster and Snow Storage Plan – The developer has submitted a dumpster and snow storage plan. Dumpsters are required to be located in enclosures and the enclosures must be reviewed by the VAC. The applicant has also submitted a “Will-Serve” letter from Wasatch County Solid Waste Disposal District.

PLANNING COMMISSION RECOMMENDATION:

The Planning Commission reviewed the proposal during their May 14th, 20024 meeting and approved the following motion:

Motion: Commissioner Garland: I make a motion that we recommend Final Approval to subdivide the Robey Building of Springer Farms into a commercial condominium and accept the staff reports, findings, and conditions. The proposal would subdivide the Robey building (Unit 4) into ten units. The Robey Building will consist of seven short-term rental units on the upper floor and three commercial units on the lower floor. The property is located at 65 N. 200 W. and is in the C-3 zone.

Seconded: Commissioner Miles

Commissioner Nicholas: Any discussion on the motion?

Commissioner Nicholas: All in favor.

Ayes: Commissioners: Osborne, Nokes, Miles, Knight and Garland

Nays: None

Motion: Passed

VISUAL AND ARCHITECTURAL COMMITTEE RECOMMENDATION:

The Visual and Architectural Committee (VAC) reviewed renderings for the proposed development during their meeting on December 14, 2022. Signage will need to be reviewed and approved when more information is submitted.

POSSIBLE FINDINGS:

- The proposal will benefit the City financially by creating a greater tax base and by providing more commercial options to the community.
- The proposal may help the City better comply with State requirements regarding the ability to collect resort tax.
- Commercial condominium developments are a conditional use in the C-3 zone.

ALTERNATIVE ACTIONS:

1. Approval (conditional). This action can be taken if the City Council finds the proposal complies with the requirements of the code.
 - a. Accept staff report
 - b. List accepted findings
 - c. Place condition(s) if needed

2. Continuance. This action can be taken if the City Council that there are unresolved issues.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for continuance
 - i. Unresolved issues that must be addressed
 - d. Date when the item will be heard again

3. Denial. This action can be taken if the City Council finds that the request does not comply with the requirements of the code.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for denial

PROPOSED CONDITIONS:

1. None

Midway City Corporation

Mayor: Celeste T. Johnson
City Council Members
Lisa Christen • Jeffery Drury
J.C. Simonsen • Steve Dougherty
Kevin Payne



75 North 100 West
P.O. Box 277
Midway, Utah 84049
Phone: 435-654-3223
Fax: 435-654-4120
midwaycityut.org

Springer Farms Subdivision

February 6, 2024

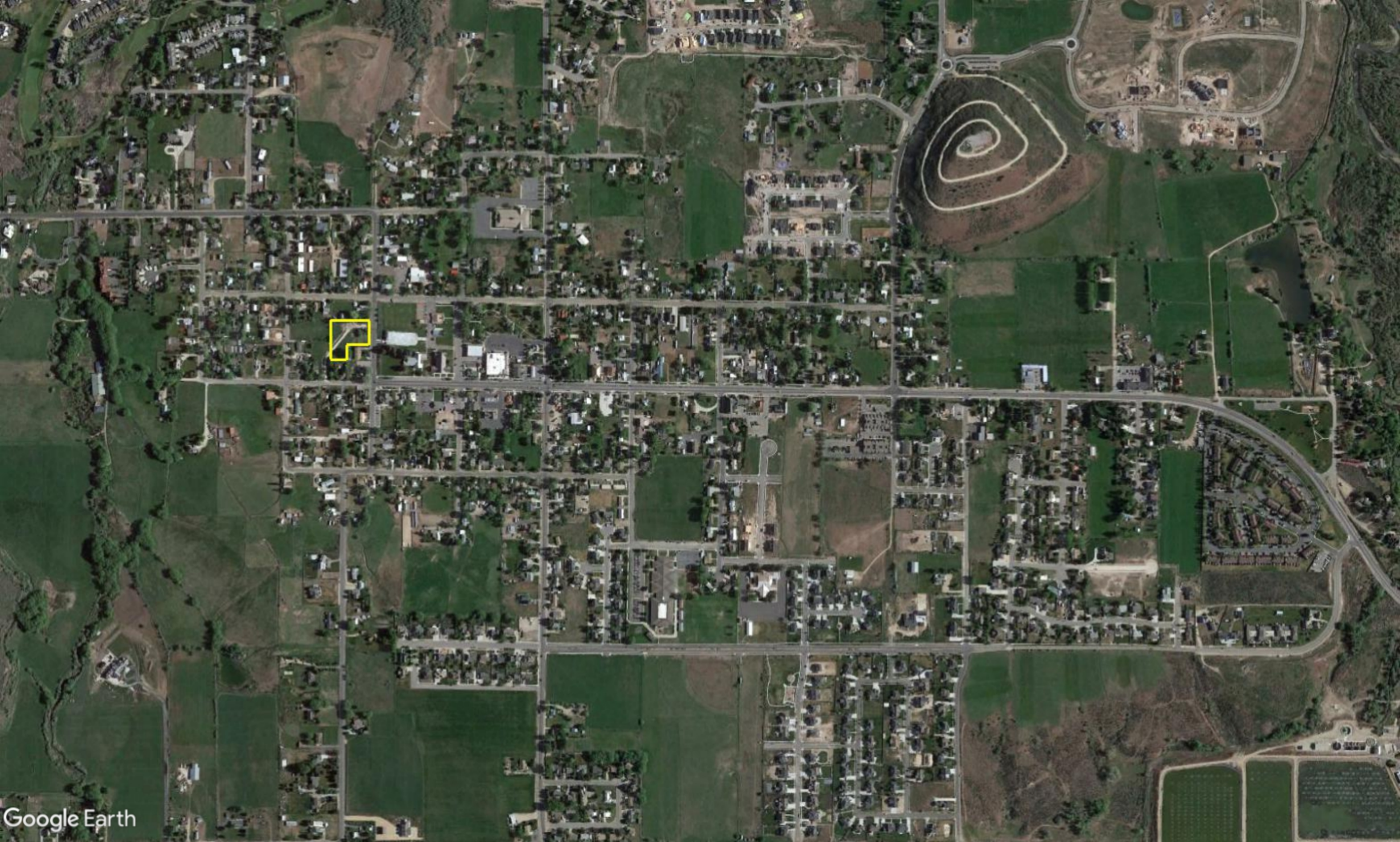
Michael Henke Midway City Planning Director,

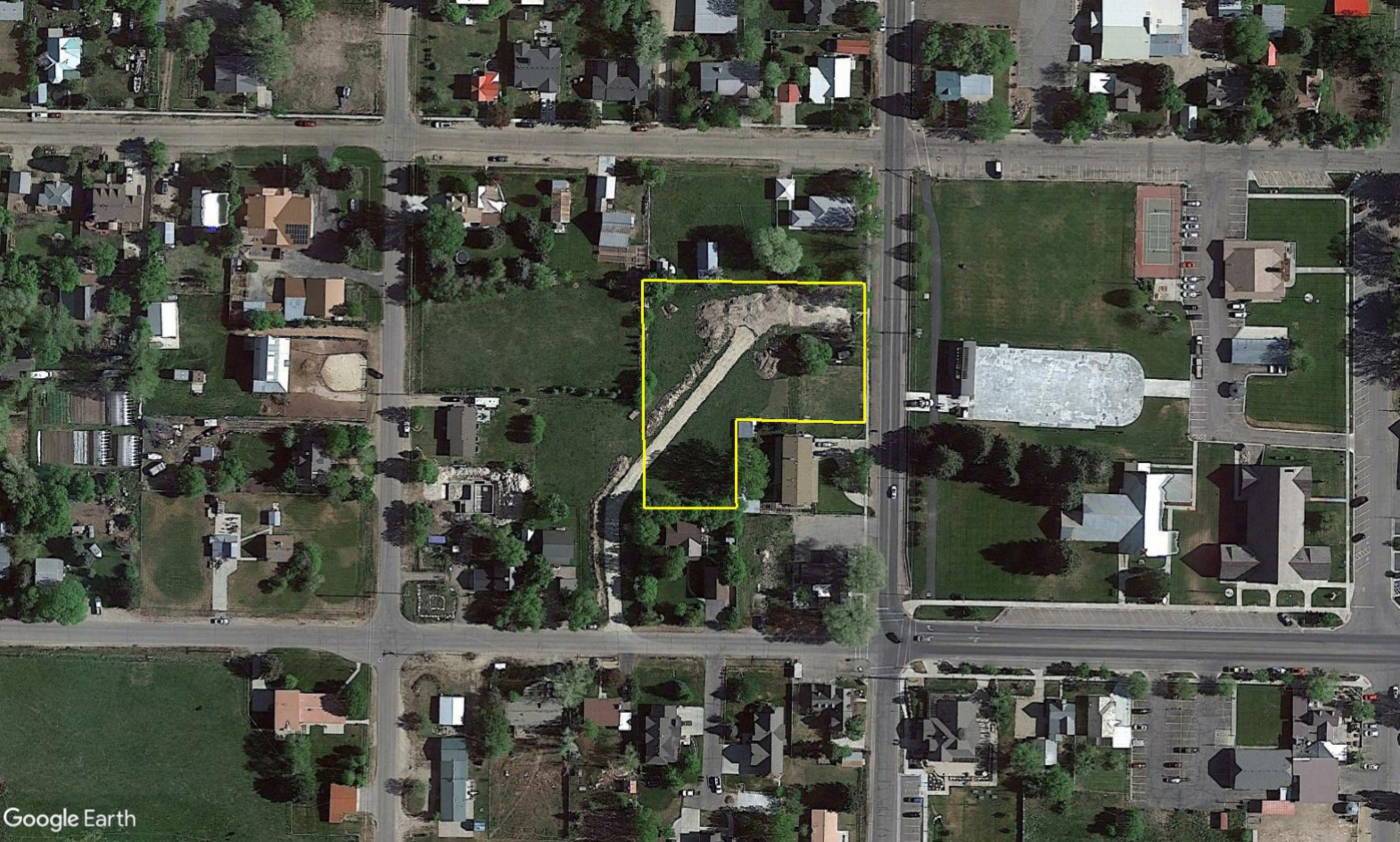
I have reviewed the proposed changes for the Springer Triplet Building, changing the building from one parcel number for the entire building to a separate parcel number for each unit inside the building so each unit can be sold separately, or condo minimized. The building permit for this building was already approved and issued under the original parcel number, typically a separate permit is issued for each parcel number but due to the situation this is not possible. The proposed changes do not change any of the code requirements that need to be met and they do not create any additional code requirements. What it does do is create difficulty in documentation so when future GRAMA requests are requested for a specific unit trying to verify where any of the documented code violations were before they were corrected. I have been able to resolve this concern by creating an inspection pod for each unit inside the current approved building permit for this building so separate inspections will be request for each unit and will be permanently documented in its on individual inspection pod, so this concern has been resolved.

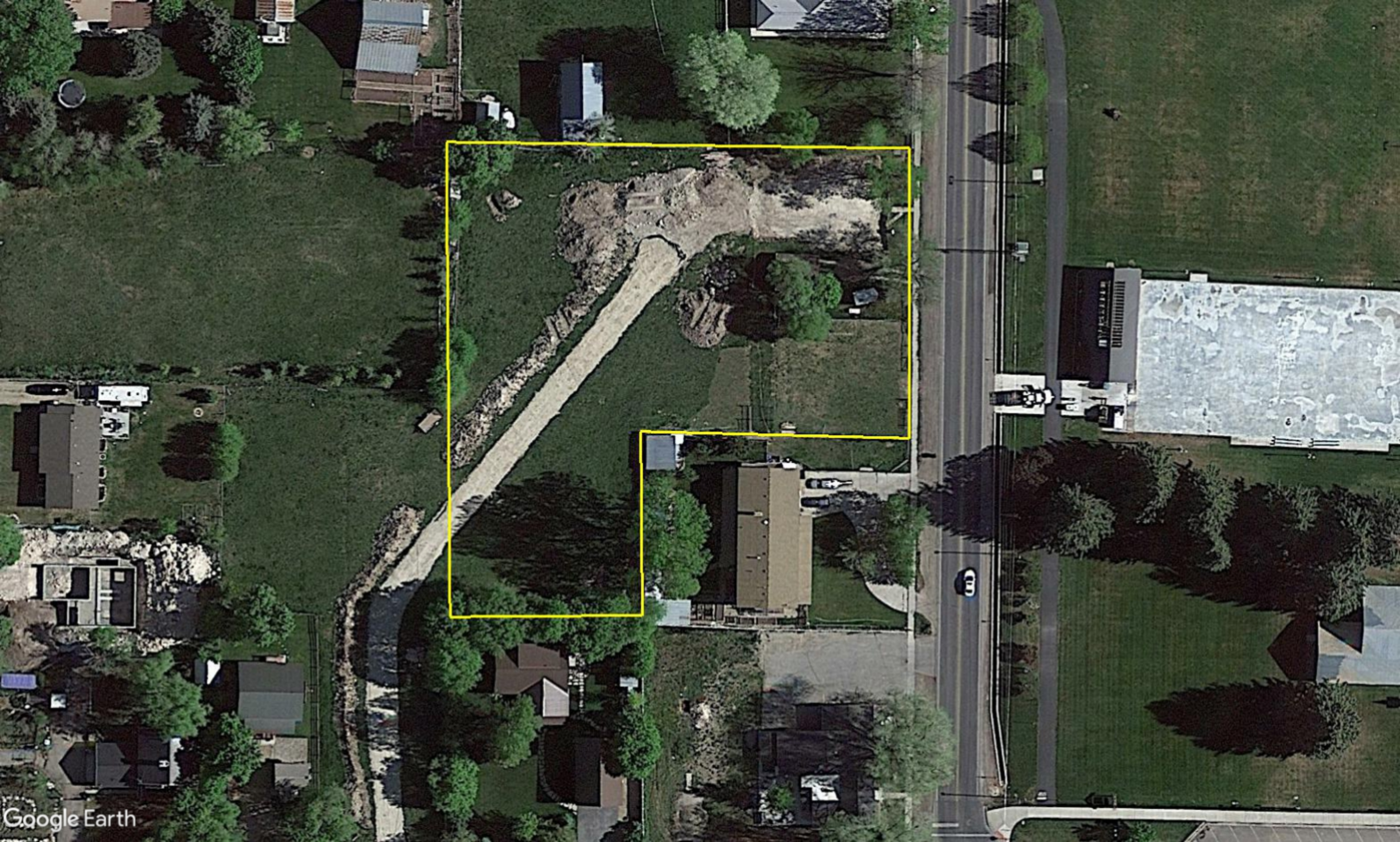
Respectfully,



Tex R. Couch CBO/MCP
Midway City Building Official/Fire Marshal
75 West 100 North
Midway, Utah 84049
tcouch@midwaycityut.org
(435)654-3223 Ext. 107



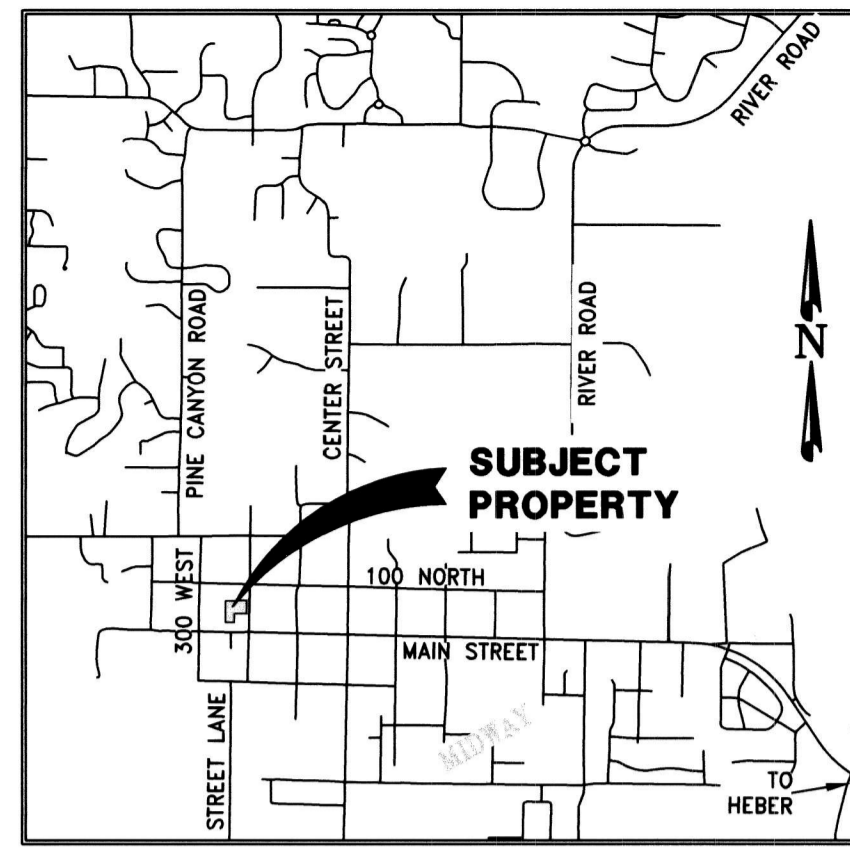








Folk & Table Books



VICINITY MAP
N.T.S.

SPRINGER FARMS SUBDIVISION

"COMMERCIAL PLANNED UNIT DEVELOPMENT"

PART OF BLOCK 9, MIDWAY SURVEY, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN, MIDWAY, WASATCH COUNTY, UTAH

LINE	BEARING	LENGTH
L1	S 88°49'24" W	15.94
L2	N 89°23'40" W	15.25
L3	N 00°41'23" W	14.17
L4	N 00°41'23" W	15.38
L5	N 90°00'00" E	14.59
L6	N 90°00'00" E	14.59
L7	N 90°00'00" E	13.01
L8	N 90°00'00" E	13.01
L9	S 33°57'09" E	6.27
L10	N 90°00'00" E	35.00
L11	S 00°00'00" E	65.50
L12	N 90°00'00" W	35.00
L13	N 00°00'00" E	65.50
L14	N 00°00'00" E	41.89
L15	N 90°00'00" E	18.59
L16	N 00°00'00" E	6.48
L17	N 90°00'00" E	27.56
L18	S 00°00'00" E	6.48
L19	N 90°00'00" E	54.35
L20	S 00°00'00" E	41.89
L21	N 90°00'00" W	100.50
L22	S 00°00'00" W	45.50
L23	N 90°00'00" W	22.67
L24	N 00°00'00" E	1.25
L25	N 90°00'00" W	15.50
L26	N 00°00'00" E	5.92
L27	N 90°00'00" W	30.00
L28	N 00°00'00" E	30.58
L29	S 90°00'00" E	16.48
L30	N 00°00'00" E	7.04
L31	N 90°00'00" E	20.59
L32	N 00°00'00" E	0.71
L33	N 90°00'00" E	31.10
L34	S 00°00'00" E	7.15
L35	N 90°00'00" E	4.00
L36	S 00°00'00" E	27.96
L37	N 90°00'00" W	4.00
L38	S 00°00'00" E	6.52
L39	N 90°00'00" W	142.12
L40	N 00°00'00" E	25.12
L41	N 90°00'00" E	77.62
L42	N 00°00'00" E	16.50
L43	N 90°00'00" E	64.50
L44	N 89°48'06" E	44.27
L45	N 00°24'20" W	62.10

BOUNDARY DESCRIPTION
BEGINNING AT THE NORTHEAST CORNER OF LOT 3, BLOCK 9, MIDWAY SURVEY OF BUILDING LOTS, SAID POINT BEING NORTH 89°04'39" EAST 1051.08 FEET AND NORTH 2094.42 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN; THENCE NORTH 0°36'20" EAST 137.35 FEET; THENCE NORTH 89°18'37" EAST 261.64 FEET; THENCE SOUTH 162.49 FEET; THENCE WEST 151.63 FEET; THENCE SOUTH 108.24 FEET; THENCE WEST 111.45 FEET; THENCE NORTH 130.24 FEET TO THE POINT OF BEGINNING.

CONTAINS 1 LOT AND 4 UNITS
54,294 SQUARE FEET OR 1.246 ACRES, MORE OR LESS.

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED AS NORTH 89°04'39" EAST BETWEEN THE SOUTH QUARTER CORNER OF SECTION 34 AND SECTION 35, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

SURVEYOR'S CERTIFICATE
I, DON K. ROUNDY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH HOLDING CERTIFICATE NUMBER 501180 AS PRESCRIBED BY TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE AN ACCURATE SURVEY OF THE TRACT OF LAND SHOWN AND DESCRIBED HEREON IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH STATE CODE, HAVE VERIFIED ALL MEASUREMENTS SHOWN AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND UNITS HEREAFTER TO BE KNOWN AS

SPRINGER FARMS SUBDIVISION
AND THAT THE SAME HAS BEEN SURVEYED AND MONUMENTS HAVE BEEN PLACED ON THE GROUND AS REPRESENTED ON THIS PLAT.

Date: October 6, 2023

Don K. Roundy
P.L.S. No. 501180



OWNER'S DEDICATION
KNOW ALL MEN BY THESE PRESENTS THAT I / WE, THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED, HEREAFTER TO BE KNOWN AS THE

SPRINGER FARMS SUBDIVISION
DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND, STREETS AND EASEMENTS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND THIS 11th DAY OF October 2023.

ATLAS HOLDINGS, LLC
TITLE Co-owner
PRINT NAME David M Springer
SIGNATURE [Signature]
TRAVIS V. NOKES
TITLE Co-owner
PRINT NAME Travis V Nokes
SIGNATURE [Signature]

ACCEPTANCE BY MIDWAY CITY
THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL LOTS, STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC, THIS 29th DAY OF November 2023.

APPROVED [Signature] ATTEST: [Signature]
CITY ENGINEER (SEE SEAL BELOW) CLERK-RECORDER (SEE SEAL BELOW)

APPROVED [Signature] APPROVED [Signature]
CITY ENGINEER (SEE SEAL BELOW) CITY ATTORNEY

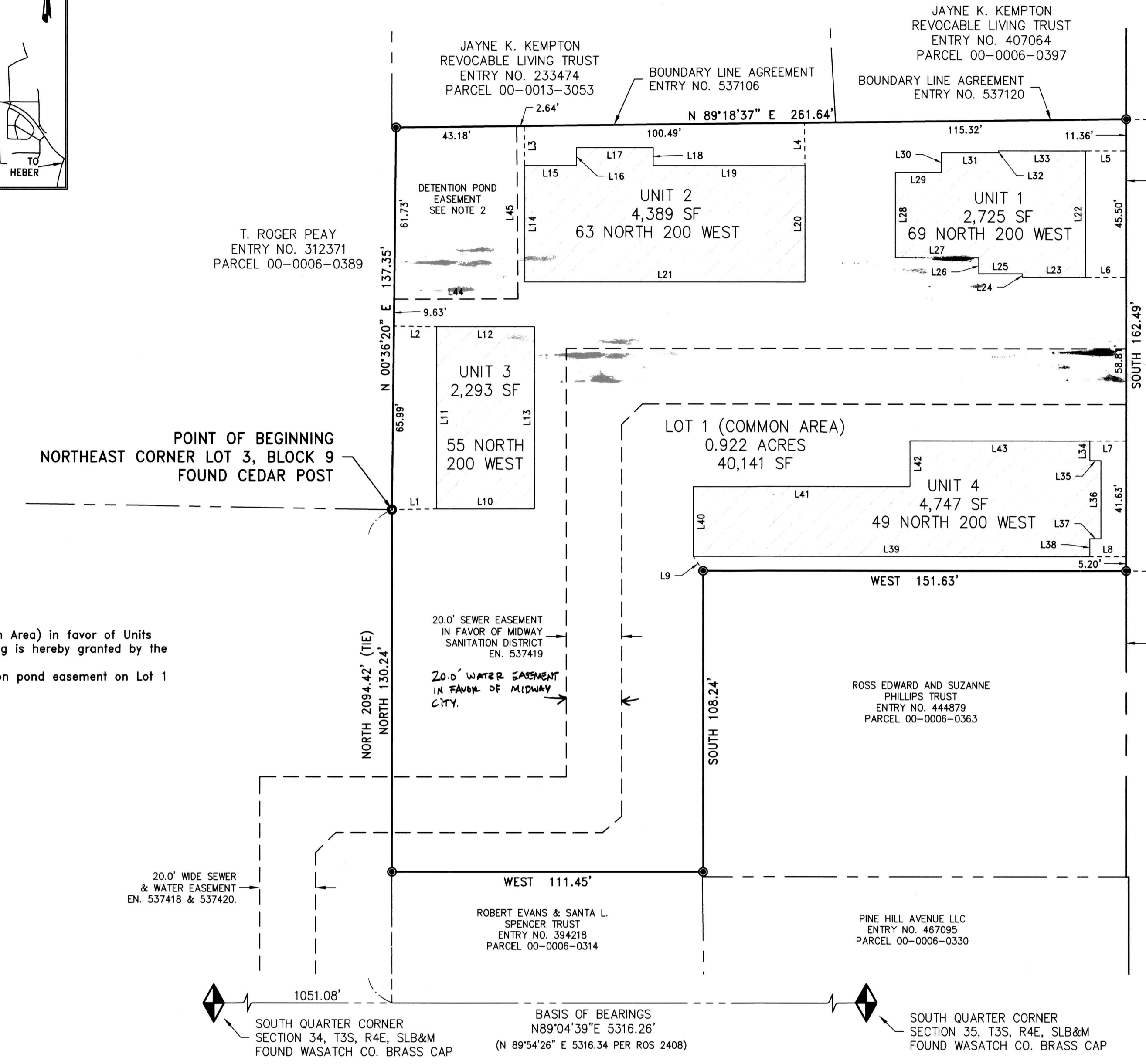
PLANNING APPROVAL
APPROVED THIS 25th DAY OF October, A.D. 2023, BY THE MIDWAY CITY PLANNING COMMISSION.
PLANNING DIRECTOR [Signature] CHAIRMAN [Signature]

SURVEYOR SEAL 	CITY ENGINEER SEAL 	CLERK/RECORDER SEAL
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LEGEND ENGINEERING
52 WEST 100 NORTH
HEBER CITY, UT 84032
PHONE: 435-654-4828
www.legendengineering.com

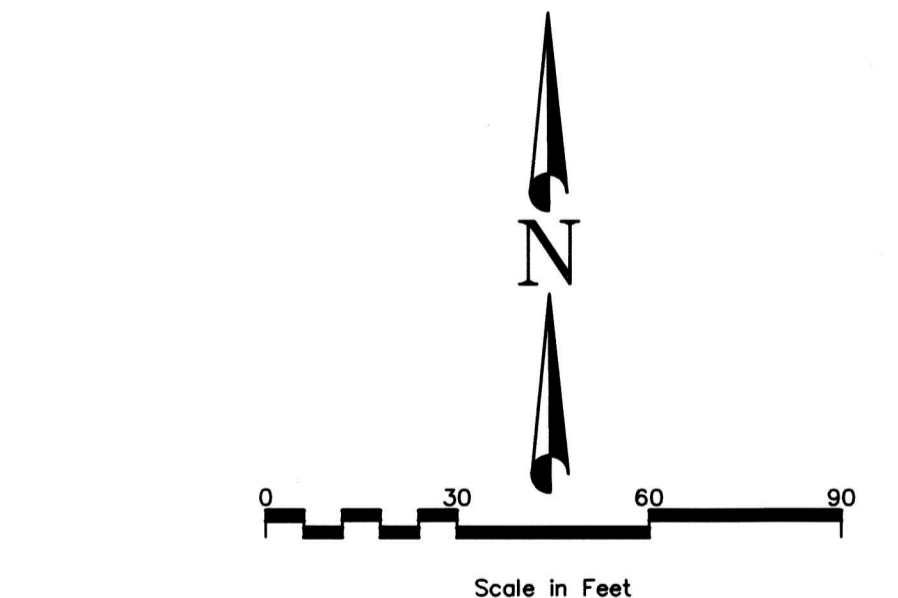
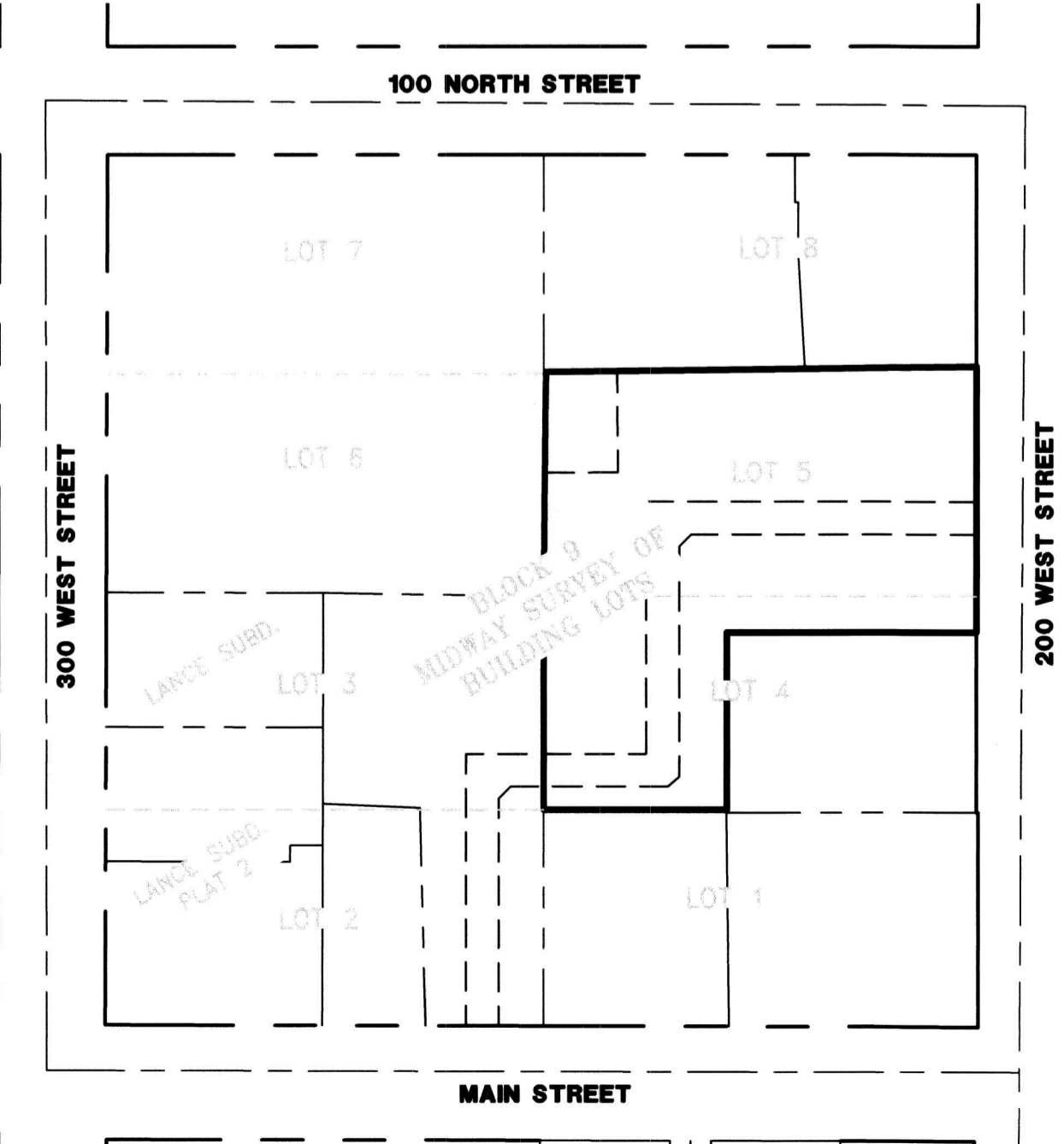
Recorder
ENTRY # 538305 BOOK 1457 PAGE 1085
DATE Nov 1 2023 TIME 11:22 AM FEE \$ 52.00
FOR ATLAS HOLDING LLC TRAVIS NOKES
BY KM WASATCH COUNTY RECORDER MARCY M MURRAY

DATE: 6/26/23
SCALE: 1"=40'
PAGE: 1 OF 1
PROJECT: S22-026



- Notes:
- An easement across Lot 1 (Common Area) in favor of Units 1-4 for utilities, access, and parking is hereby granted by the recording of this plat.
 - The pond located within the detention pond easement on Lot 1 is not to be filled.

BLOCK DETAIL
N.T.S.

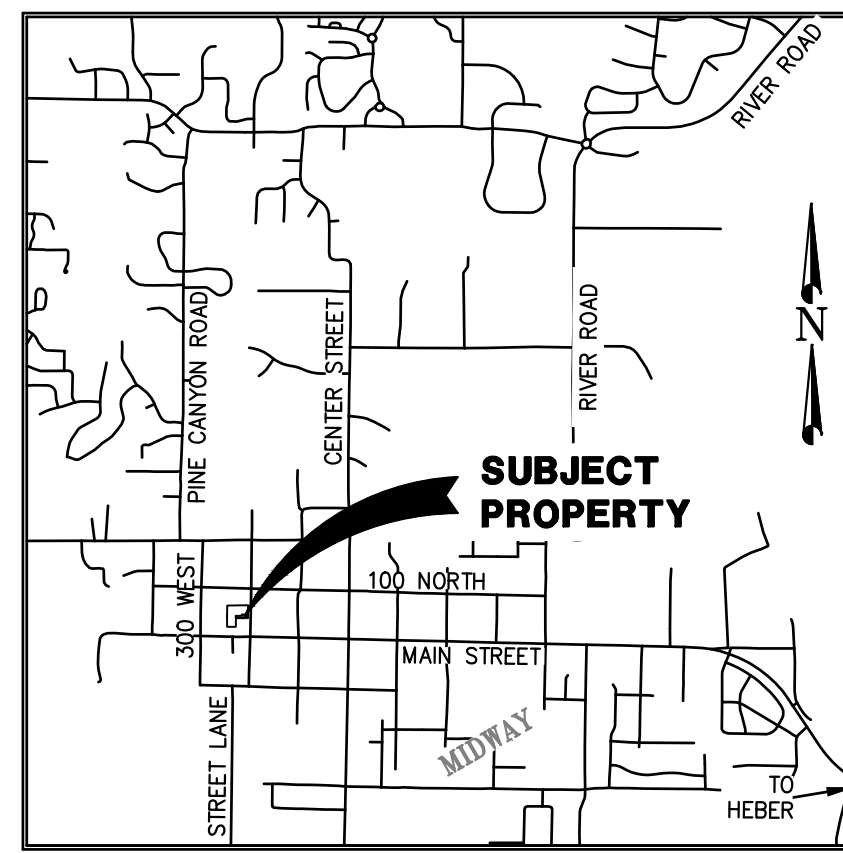


- LEGEND**
- ◆ WASATCH COUNTY SECTION CORNER (AS NOTED)
 - SET REBAR W/CAP STAMPED "LEGEND ENGINEERING" (UNLESS OTHERWISE NOTED)
 - FOUND PROPERTY MONUMENT (AS NOTED)
 - FOUND STREET MONUMENT
 - - - PROPERTY BOUNDARY LINE
 - - - RIGHT-OF-WAY LINE
 - - - SECTION LINE
 - - - MONUMENT LINE
 - - - ADJACENT PROPERTY LINE
 - - - EASEMENT LINE
 - ▭ BUILDING UNIT PAD (PRIVATE OWNERSHIP)

COUNTY SURVEYOR
APPROVED AS TO FORM THIS 11th DAY OF October, A.D. 2023.
DATE 10-17-23 DATE 10-26-23
MIDWAY SANITATION DISTRICT DATE
MIDWAY IRRIGATION DISTRICT DATE

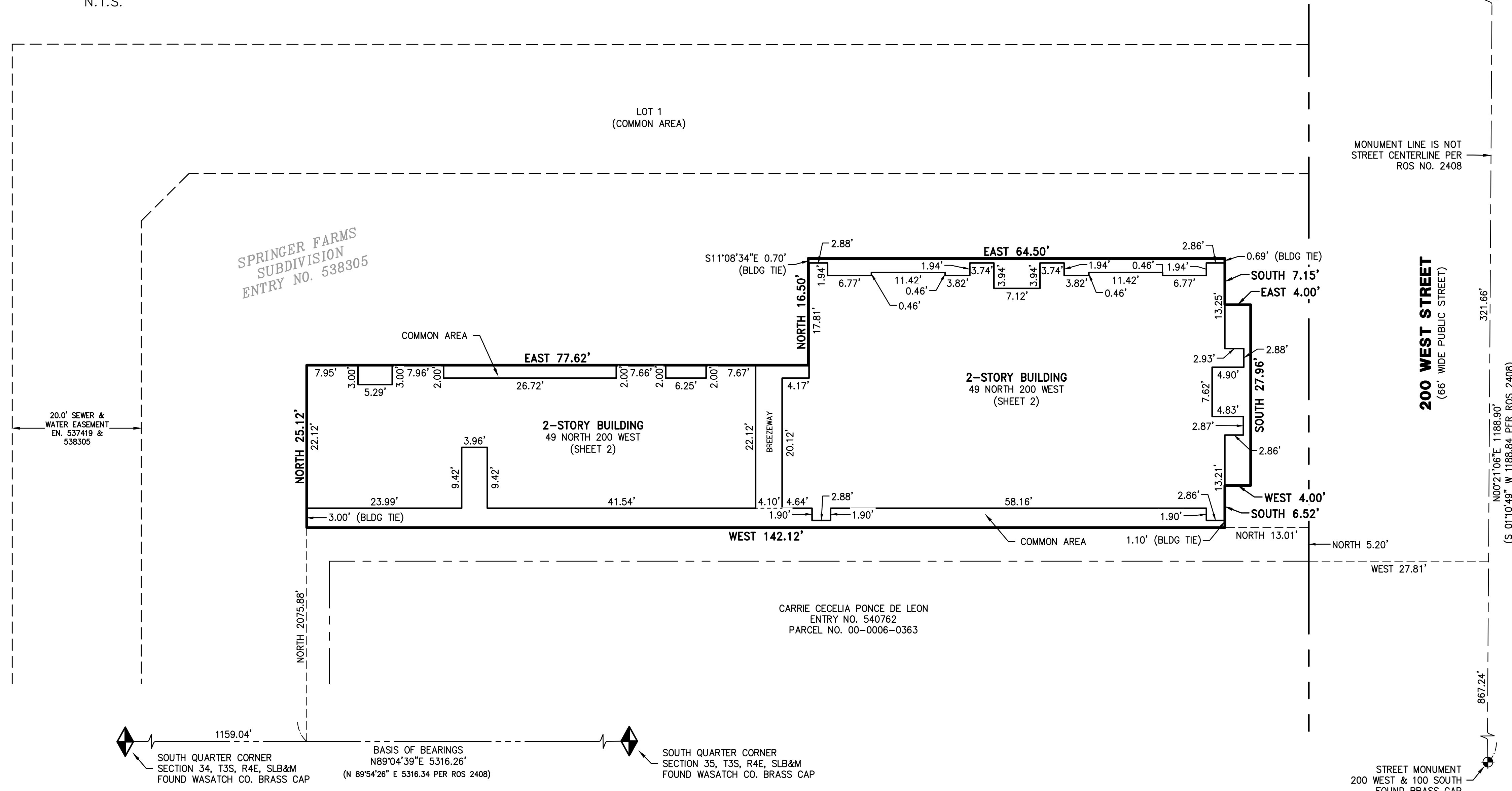
ACKNOWLEDGEMENT
STATE OF UTAH COUNTY OF UTAH
ON THE 11 DAY OF October, A.D. 2023 PERSONALLY APPEARED BEFORE ME, David Springer WHO BEING BY ME DULY SWORN DID SAY THAT HE IS THE Co-owner OF Atlas Holdings, A LIMITED LIABILITY COMPANY, AND THAT BY THE AUTHORITY OF ITS MEMBERS OR ITS ARTICLE OF ORGANIZATION, AND HE ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.
MY COMMISSION EXPIRES: 12-24-2025 COMMISSION NUMBER 721717
NOTARY PUBLIC [Signature] NOTARY PUBLIC [Signature]
(SEE SEAL BELOW) (SEE SEAL BELOW) RESIDING IN Wasatch COUNTY

ACKNOWLEDGEMENT
STATE OF UTAH COUNTY OF UTAH
ON THE 11 DAY OF October, A.D. 2023 PERSONALLY APPEARED BEFORE ME, Travis Nokes WHO BEING BY ME DULY SWORN DID SAY THAT HE IS THE OWNER OF THE DESCRIBED PROPERTY, WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT SAID EXECUTED THE SAME.
MY COMMISSION EXPIRES: 12-24-2025 COMMISSION NUMBER 721717
NOTARY PUBLIC [Signature] NOTARY PUBLIC [Signature]
(SEE SEAL BELOW) (SEE SEAL BELOW) RESIDING IN Wasatch COUNTY



VICINITY MAP
N.T.S.

SPRINGER FARMS TRIPLET CONDOMINIUMS
 "A UTAH CONDOMINIUM PROJECT"
 AMENDING UNIT 4, SPRINGER FARMS SUBDIVISION
 PART OF BLOCK 9, MIDWAY SURVEY, LOCATED IN THE SOUTHEAST
 QUARTER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 4 EAST,
 SALT LAKE BASE AND MERIDIAN
 MIDWAY, WASATCH COUNTY, UTAH



SPRINGER FARMS
SUBDIVISION
ENTRY NO. 538305

20.0' SEWER &
WATER EASEMENT
EN. 537419 &
538305

SOUTH QUARTER CORNER
SECTION 34, T3S, R4E, SLB&M
FOUND WASATCH CO. BRASS CAP

BASIS OF BEARINGS,
N89°04'39"E 5316.26'
(N 89°54'26" E 5316.34 PER ROS 2408)

SOUTH QUARTER CORNER
SECTION 35, T3S, R4E, SLB&M
FOUND WASATCH CO. BRASS CAP

CARRIE CECELIA PONCE DE LEON
ENTRY NO. 540762
PARCEL NO. 00-0006-0363

STREET MONUMENT
200 WEST & 100 NORTH
FOUND BRASS CAP

MONUMENT LINE IS NOT
STREET CENTERLINE PER
ROS NO. 2408

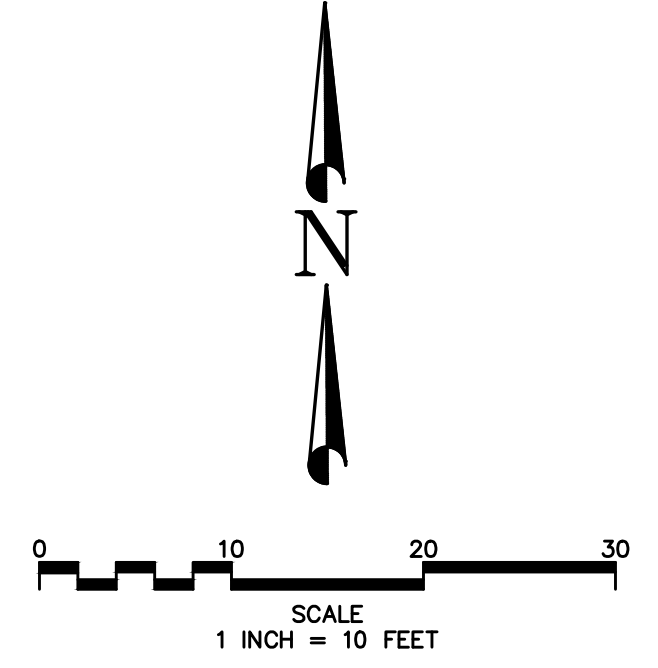
200 WEST STREET
(66' WIDE PUBLIC STREET)

N00°21'06"E 1188.90'
(S 01°10'49" W 1188.84 PER ROS 2408)

867.24'

STREET MONUMENT
200 WEST & 100 SOUTH
FOUND BRASS CAP

- LEGEND**
- WASATCH COUNTY SECTION CORNER (AS NOTED)
 - FOUND STREET MONUMENT
 - PROPERTY BOUNDARY LINE
 - RIGHT-OF-WAY LINE
 - SECTION LINE
 - MONUMENT LINE
 - ADJACENT PROPERTY LINE
 - EASEMENT LINE
 - CONDOMINIUM BUILDING PAD (SEE SHEET 2)



BOUNDARY DESCRIPTION
 ALL OF UNIT 4, SPRINGER FARMS SUBDIVISION, RECORDED NOVEMBER 1, 2024 AS ENTRY NO. 538305 IN BOOK 1457 AT PAGE 1085 IN THE OFFICE OF THE WASATCH COUNTY RECORDER.
 4,747 SQUARE FEET, MORE OR LESS.
BASIS OF BEARINGS
 THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED AS NORTH 89°04'39" EAST BETWEEN THE SOUTH QUARTER CORNER OF SECTION 34 AND SECTION 35, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

SURVEYOR'S CERTIFICATE
 I, DON K. ROUNDY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH HOLDING CERTIFICATE NUMBER 501180 AS PRESCRIBED BY TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE AN ACCURATE SURVEY OF THE TRACT OF LAND SHOWN AND DESCRIBED HEREON IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH STATE CODE, HAVE VERIFIED ALL MEASUREMENTS SHOWN AND HAVE SUBDIVIDED SAID PROPERTY INTO UNITS HEREAFTER TO BE KNOWN AS
 SPRINGER FARMS TRIPLET CONDOMINIUMS
 I FURTHER CERTIFY THAT THE REFERENCE MARKERS SHOWN ON THIS CONDOMINIUM PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO READILY RETRACE OR RE-ESTABLISH THIS SURVEY, THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE ABOVE-DESCRIBED TRACT, AND OF THE BUILDINGS LOCATED OR TO BE LOCATED ON SAID TRACT, THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE HORIZONTAL AND VERTICAL BOUNDARIES OF EACH OF THE UNITS LOCATED OR TO BE LOCATED ON SAID TRACT, AND THIS CONDOMINIUM PLAT COMPLIES WITH THE PROVISIONS OF SECTION 57-8-13(1) OF THE UTAH CONDOMINIUM OWNERSHIP ACT, UTAH CODE ANNOTATED SECTIONS 57-8-1 THROUGH 57-8-60 (2010 REPLACEMENT, SUPP. 2022).

Date: April 30, 2024
 Don K. Roundy
 P.L.S. No. 501180



OWNER'S DEDICATION
 KNOW ALL MEN BY THESE PRESENTS THAT I, THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED, HEREAFTER TO BE KNOWN AS THE
 SPRINGER FARMS TRIPLET CONDOMINIUMS
 DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND, STREETS AND EASEMENTS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND THIS _____ DAY OF 2024.
 SPRINGER FARMS LAND HOLDINGS, LLC
 TITLE _____
 PRINT NAME _____
 SIGNATURE _____

ACKNOWLEDGEMENT
 STATE OF UTAH
 COUNTY OF UTAH
 ON THE _____ DAY OF _____, A.D. 2024 PERSONALLY APPEARED BEFORE ME, _____, WHO BEING BY ME DULY SWORN DID SAY THAT HE IS THE _____ OF _____, A LIMITED LIABILITY COMPANY, AND THAT BY THE AUTHORITY OF ITS MEMBERS OR ITS ARTICLE OF ORGANIZATION, AND HE ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.
 MY COMMISSION EXPIRES: _____ COMMISSION NUMBER _____
 NOTARY PUBLIC _____ NOTARY PUBLIC _____
 COMMISSIONED IN UTAH _____ RESIDING IN _____ COUNTY
 (SEE SEAL BELOW)

PLANNING APPROVAL
 APPROVED THIS _____ DAY OF _____, A.D. 2024, BY THE
 MIDWAY CITY PLANNING COMMISSION.
 PLANNING DIRECTOR _____ CHAIRMAN _____

SURVEYOR SEAL 	CITY ENGINEER SEAL	CLERK/RECORDER SEAL
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LEGEND ENGINEERING

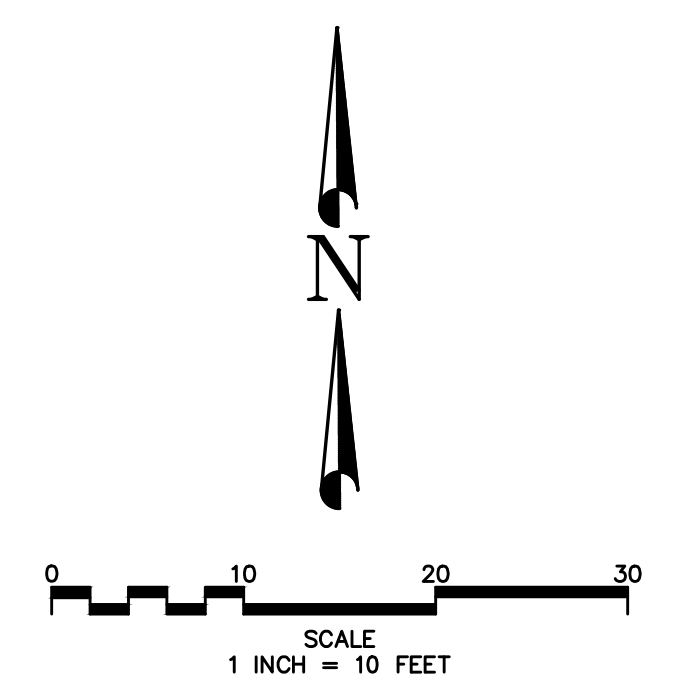
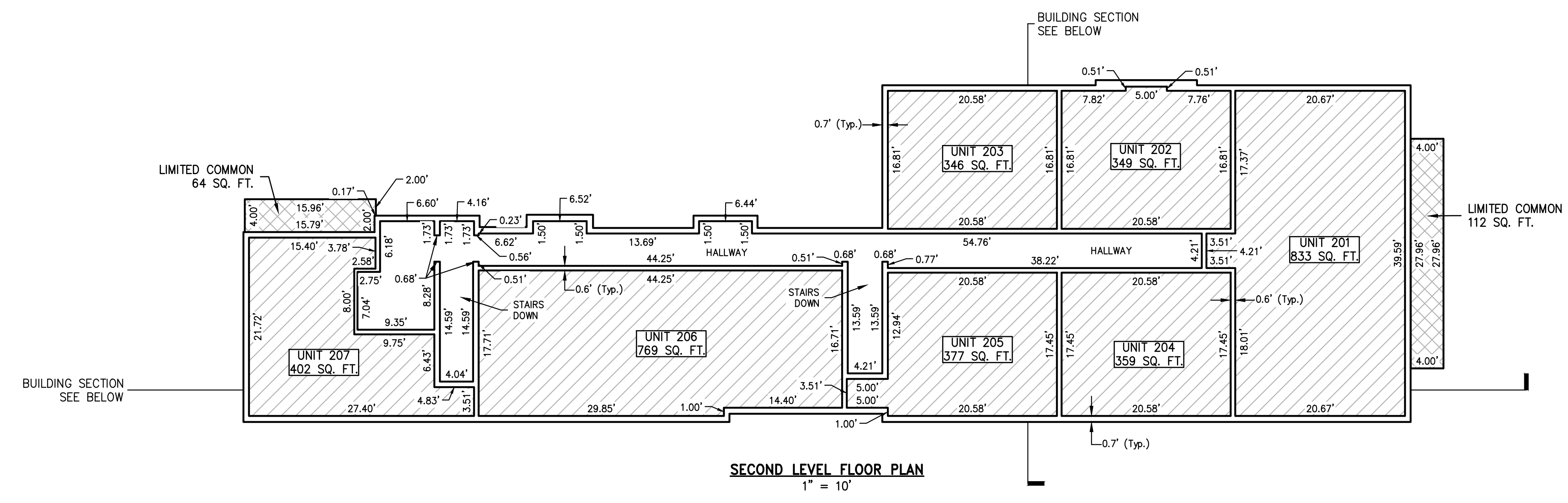
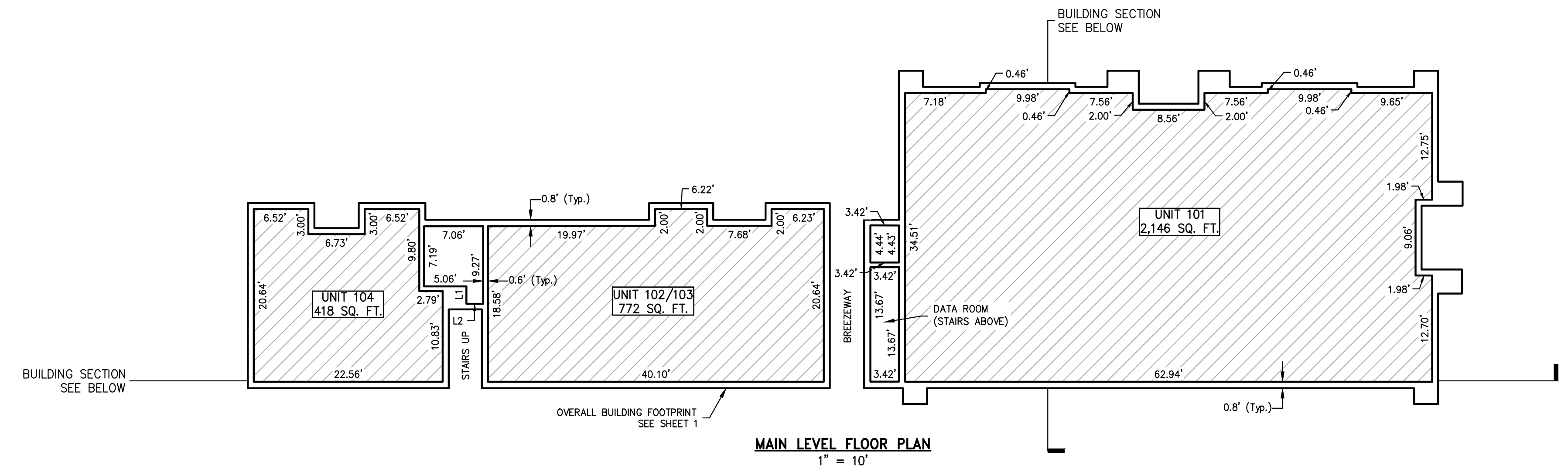
52 WEST 100 NORTH
 HEBER CITY, UT 84032
 PHONE: 435-654-4828
 www.legendengineering.com

ACCEPTANCE BY MIDWAY CITY
 THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL LOTS, STREETS, EASEMENTS, AND OTHER PARCEL OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC, THIS _____ DAY OF _____, 2024.
 APPROVED _____ MAYOR ATTEST: _____ CLERK-RECORDER (SEE SEAL)
 APPROVED _____ CITY ENGINEER (SEE SEAL) APPROVED _____ CITY ATTORNEY

COUNTY SURVEYOR
 MIDWAY SANITATION DISTRICT DATE _____
 MIDWAY IRRIGATION DISTRICT DATE _____
 APPROVED AS TO FORM THIS _____ DAY OF _____, A.D. 2024.
 R.O.S. # 3993
 COUNTY SURVEYOR _____

Recorder _____ DATE: 4/30/24
 SCALE: 1"=10'
 PAGE: 1 OF 2
 PROJECT: 3709-04

SPRINGER FARMS TRIPLET
 "A UTAH CONDOMINIUM PROJECT"
 AMENDING UNIT 4, SPRINGER FARMS SUBDIVISION
 PART OF BLOCK 9, MIDWAY SURVEY, LOCATED IN THE SOUTHEAST
 QUARTER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 4 EAST,
 SALT LAKE BASE AND MERIDIAN
 MIDWAY, WASATCH COUNTY, UTAH

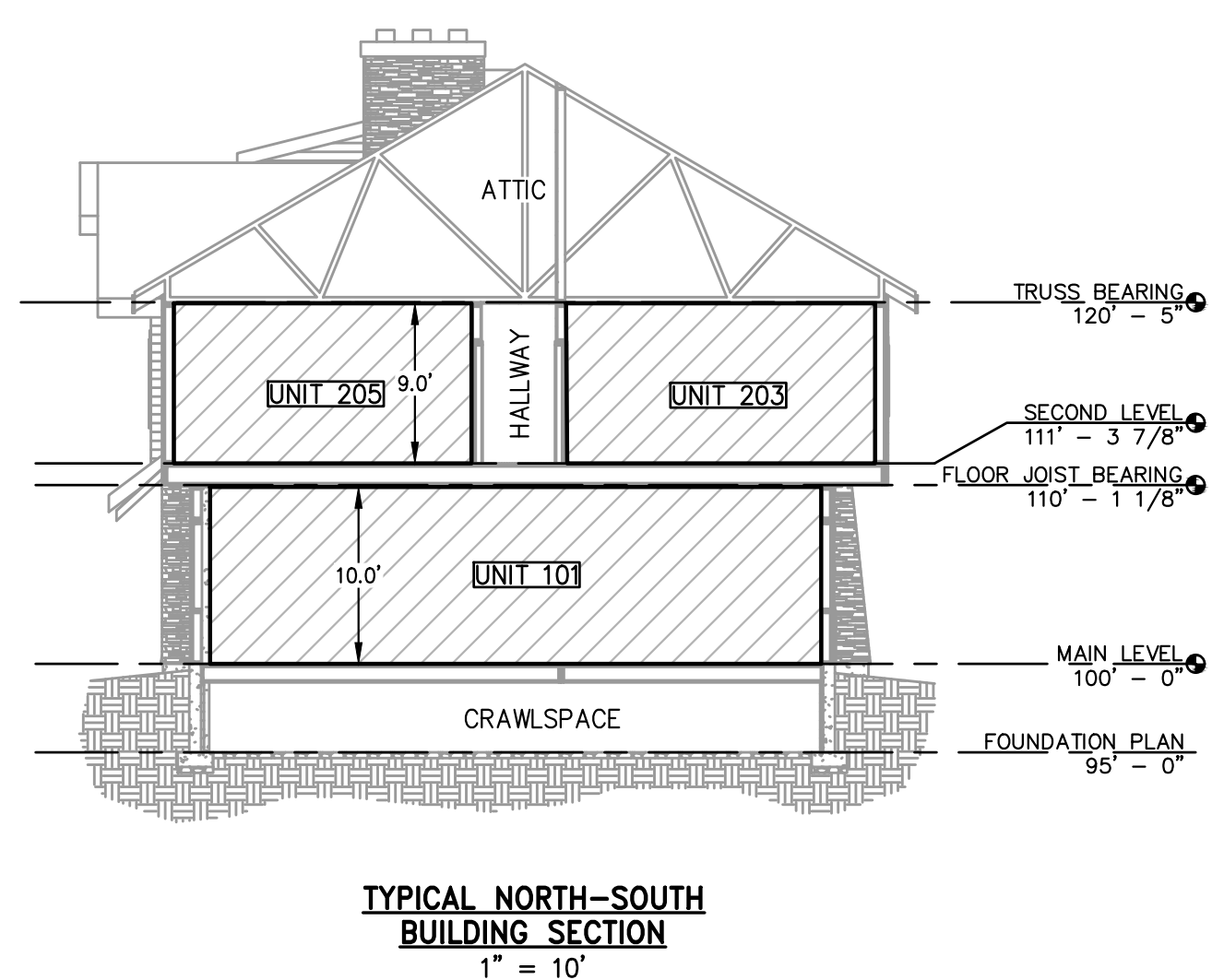
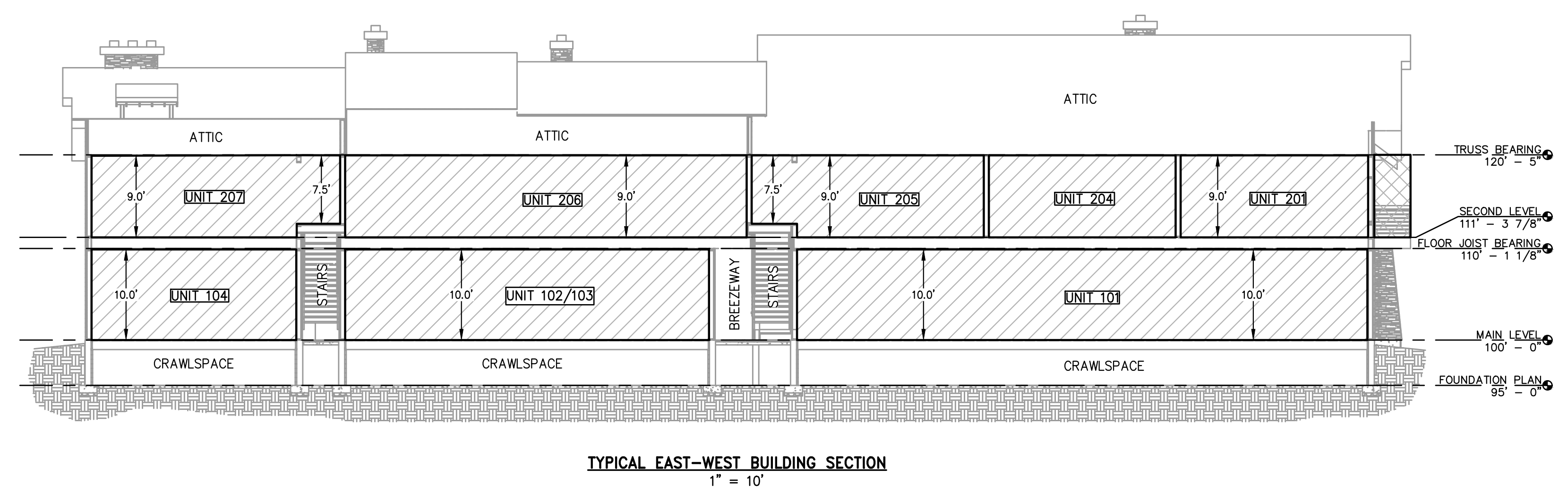


LEGEND

	PRIVATE OWNERSHIP
	COMMON AREA
	LIMITED COMMON AREA

Line Table

Line	BEARING	LENGTH
L1	NORTH	2.08
L2	WEST	2.00



SURVEYOR SEAL 	CITY ENGINEER SEAL	CLERK/RECORDER SEAL
LEGEND ENGINEERING 52 WEST 100 NORTH HEBER CITY, UT 84032 PHONE: 435-654-4828 www.legendengineering.com		
Recorder		DATE: 4/30/24 SCALE: 1"=10' PAGE: 2 OF 2 PROJECT: 3709-04

1 GENERAL NOTES

2 ABBREVIATIONS

- A. INTERIOR WALLS AND CEILING FINISHES IN EXIT ACCESS CORRIDORS, ROOMS AND ENCLOSED SPACES SHALL BE NOT LESS THAN A CLASS C RATING...
B. ALL CONSTRUCTION SHALL MEET THE CONSTRUCTION STANDARDS FOR A TYPE VB, SPRINKLED BUILDING IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE 2021 EDITION...
C. CONTRACTOR TO MAINTAIN A COMPLETE, TOP QUALITY, "AS BUILT" DRAWINGS FOR SUBMITTAL TO ARCHITECT UPON COMPLETION OF CONSTRUCTION...
D. WOOD AND COMBUSTIBLE MATERIALS IN CEILINGS AND CONCEALED SPACES IS TO BE CONSTRUCTED PER IBC 603...
E. NO VINYL ASBESTOS OR OTHER HAZARDOUS MATERIALS SHALL BE INSTALLED AS PART OF THIS WORK...
F. ALL FURRING AND BLOCKING SHALL MEET THE REQUIREMENTS OF IBC 603...
G. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS...
H. COORDINATE ALL DIMENSIONS, CONDITIONS AND DETAILS WITH STRUCTURAL, CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION DRAWINGS AND MATERIAL SUPPLIERS...
I. ALL SECURITY DEVICES MUST BE PHYSICALLY INTEGRATED...
J. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE...
K. THE CONTRACTOR SHALL CONFIRM IN WRITING, APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION ITEMS AND MATERIALS AS REQUIRED...
L. SUBSTITUTIONS, REVISIONS AND/OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE ARCHITECT AND OWNER...
M. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL WORK INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, TELEPHONE AND LIGHTING...
N. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY, OR DEFICIENT IN ANY REQUIREMENT OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE...
O. THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES CAUSED BY THEMSELVES OR BY THEIR SUB-CONTRACTORS...
P. THE CONTRACTOR SHALL REVIEW, APPROVE, STAMP, AND SUBMIT TO THE ARCHITECT, WITH REASONABLE PROMPTNESS, AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK, PRODUCT DATA, SHOP DRAWINGS AND SAMPLES FOR THE PROJECT...
Q. BY APPROVING STAMPING, AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS THAT THEY HAVE DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO AND THAT THEY HAVE CHECKED AND COORDINATED THE INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND CONTRACT DOCUMENTS...
R. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECTS REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES...
S. THE CONTRACTOR SHALL ASSIST IN THE COORDINATION OF "N.I.C." ITEMS INCLUDING FURNITURE INSTALLATION, EQUIPMENT INSTALLATION, TELEPHONE WORK, ETC...
T. ALL PARTITIONING AND CEILINGS SHALL BE BRACED IN COMPLIANCE WITH THE REQUIREMENTS OF ALL APPLICABLE SEISMIC AND BUILDING CODES...
U. THE CONTRACTOR SHALL PROVIDE METAL BACKING PLATES, OR FIRE TREATED WOOD BLOCKING, AS REQUIRED IN WALLS BEHIND ALL WALL MOUNTED ITEMS OF CASEWORK, ACCESSORIES, ETC...
V. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL FIELD DIMENSIONS INDICATED BY "VERIFY" IN THE CONTRACT DOCUMENTS AND SHALL REVIEW ANY DISCREPANCIES WITH THE ARCHITECT BEFORE PROCEEDING...
W. ALL CLEAR (CLR.) DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECTS APPROVAL...
X. PRIOR TO CONSTRUCTION, DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS, ENGINEERING DRAWINGS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT...
Y. DIMENSIONS TAKE PRECEDENCE OVER SCALE OF THE DRAWING. DRAWINGS SHOULD NOT BE SCALED WITHOUT APPROVAL OF ARCHITECT...
Z. ALL TOILET ROOMS AND ELEVATIONS SHALL BE IN COMPLIANCE WITH CURRENT APPLICABLE CODES AS PER THESE DRAWINGS...
AA. ALL DRAWINGS, NOTES, AND SPECIFICATIONS ARE CONSIDERED COMPLIMENTARY AND WHAT IS CALLED FOR BY ONE WILL BE BINDING TO ALL. ANY WORK SHOWN, OR REFERRED TO, IS BINDING TO ALL...
BB. ARCHITECT SHALL NOT BE LIABLE FOR WORK, REGARDING THE IDENTIFICATION, REPAIR, REMOVAL OR ENCAPSULATION OF ASBESTOS OR OTHER HAZARDOUS MATERIALS...

Table of abbreviations including ANCHOR BOLT, ABOVE, ADJUSTABLE, ABOVE FINISH FLOOR, AMERICAN INSTITUTE OF ARCHITECTS, ALUMINUM, ARCHITECTURAL, ASTM, AMERICAN SOCIETY FOR TESTING MATERIALS, DEFORMED BAR ANCHOR, BOARD, BITUMINOUS, BUILDING, BENCHMARK, BOTTOM OF, BASE PLATE, BEARING, BETWEEN, CERAMIC, CONTROL / CONSTRUCTION JOINT, CEILING, CLEAR, CONCRETE MASONRY UNIT, CONCRETE, CONTINUOUS, CONST CONSTRUCTION, COORDINATE, CAP PLATE, CONTRACTION JOINT, DOUBLE, DEPARTMENT, DETAIL, DWGS DRAWINGS, EACH, EXPANSION JOINT, ELEVATION, EQ, EACH WAY, EXISTING, EXPAN EXPANSION, EXT EXTERIOR, EWIC ELECTRIC WATER COOLER, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR, FLOOR, FEET / FOOT, FOOTING, GAGE / GAUGE, GALLON, GALVANIZED, GROUND FAULT CIRCUIT INTERRUPTOR, GALLONS PER MINUTE, GROUND, GOVT GOVERNMENT, GYP GYPSUM, HC HANDICAPPED, HDW HARDWARE, HM HOLLOW METAL, HORIZ HORIZONTAL, HOUR, HT HEIGHT, HVAC HEATING / VENTILATION / AIR CONDITIONING, HYD HYDRANT, ID INSIDE DIAMETER, IF INSIDE FACE, IN INCHES, INFO INFORMATION, INSUL INSULATION, LAV LAVATORY, LIGHT, LFTW LIGHT WEIGHT, MAINT MAINTENANCE, MAX MAXIMUM, MAT MATERIAL, MCJ MASONRY CONTROL JOINT, MECH MECHANICAL, MFR MANUFACTURER, MIN MINIMUM, MISC MISCELLANEOUS, MO MASONRY OPENING, MTL METAL, NIC NOT IN CONTRACT, NO NUMBER, NTS NOT TO SCALE, OC ON CENTER, OD OUTSIDE DIAMETER, OF OUTSIDE FACE, OH OVERHEAD, OPP OPPOSITE, PART PARTITION, PSF POUNDS PER CUBIC FOOT, PCF POUNDS PER SQUARE INCH, PERP PERPENDICULAR, PL PLATE, PLF POUNDS PER LINEAL FOOT, PNTD PAINTED, PROT PROTECTION, PSF POUNDS PER SQUARE FOOT, PSI POUNDS PER SQUARE INCH, QTY QUANTITY, RD ROOF DRAIN, RAD RADIUS, REINF REINFORCED, REQD REQUIRED, RM ROOM, RO ROUGH OPENING, SCHED SCHEDULE, SDI STEEL DECK INSTITUTE, SHR SHOWER, SHT SHEET, SIM SIMILAR, SPEC SPECIFICATION, STC SOUND TRANSMISSION COEFFICIENT, STD STANDARD, STIFF STIFFENER, STRUCT STRUCTURAL, SUSP SUSPENDED, TBC TOP BACK OF CURB, THRU THROUGH, TOA TOP OF ASPHALT, TOP TOP OF FOOTING, TOP OF SLAB OR SIDEWALK, TOW TOP OF WALL, TYP TYPICAL, UNO UNLESS NOTED OTHERWISE, VCT VINYL COMPOSITION TILE, VERT VERTICAL, VEST VESTIBULE, WD WOOD, WWF WELDED WIRE FABRIC

4 SPRINGER TRIPLET

49 NORTH 200 WEST MIDWAY, UTAH 84049

3 PROJECT IMAGE



5 CODE INFORMATION

CODE: 2021 INTERNATIONAL BUILDING CODE, 2020 NATIONAL ELECTRICAL CODE, 2021 INTERNATIONAL PLUMBING CODE, 2021 INTERNATIONAL MECHANICAL CODE, 2021 NATIONAL FIRE CODE, 2021 INTERNATIONAL ENERGY CONSERVATION CODE, ICC/ANSI A117.1-2017 ACCESSIBILITY CODE
JURISDICTION: MIDWAY, UTAH
GENERAL: TYPE OF CONSTRUCTION: VB (MAIN LEVEL) & R-1 (SECOND LEVEL), OCCUPANCY CLASSIFICATION: M (MAIN LEVEL) & R-1 (SECOND LEVEL), SEPARATION: NON-SEPARATED, FIRE SPRINKLERS: YES, NFA 13, BUILDING ELEMENT FIRE RATING: 1-HOUR SOUTH EXTERIOR WALL PER IBC TABLE 601 & 705.3, RESIDENTIAL FIRE SEPARATION: SEE SHEET A100 & A100a, GROSS BUILDING AREA: 8,600 S.F., MAIN LEVEL: 3,922 S.F., SECOND LEVEL: 4,678 S.F. (INCLUDING BALCONIES), NUMBER OF STORIES/ HEIGHT: 2 STORY / 33'-11", REQUIRED MEANS OF EGRESS: 2 EXIT REQUIRED AS PER TABLE 1006.2.1, COMMON PATH OF EGRESS: 75' AS PER IBC TABLE 1006.2.1, EXIT ACCESS TRAVEL DISTANCE: 240' AS PER IBC TABLE 1017.2, OCCUPANT LOAD: 89 (SEE OCCUPANCY SCHEDULE ON A100), MAIN LEVEL: 65 OCCUPANTS, SECOND LEVEL: 25 OCCUPANTS

ALLOWABLE BUILDING HEIGHT & AREA (IBC CHAPTER 5): BASIC ALLOWABLE HEIGHT: 60'-0" (M-R-1), BASIC ALLOWABLE STORIES: 2-STORY (M), BASIC ALLOWABLE AREA FACTOR: 21,000 S.F. (R-1, SM)

PLUMBING FIXTURE ANALYSIS (IBC CHAPTER 29): BUILDING WATER CLOSETS REQUIRED: 1/500 = 1 (2 PROVIDED), BUILDING LAVATORIES REQUIRED: 1/750 = 1 (2 PROVIDED), BUILDING SERVICE SINKS REQUIRED: 1 (1 PROVIDED), BUILDING DRINKING FOUNTAINS REQUIRED: 0 (PER IBC SECTION 2902.6)

ENERGY CODE VALUES - PRESCRIPTIVE VALUES PER IECC TABLE C402.1.4 (ZONE 6): ROOFS - ATTIC & OTHER: R-49, WALLS, ABOVE GRADE - WOOD FRAMED: R-20 BATT + R3.8 CONTINUOUS (BELOW-GRADE WALL (CRAWL SPACE): R-10 CONTINUOUS), FLOORS - JOIST FRAMING: R-38, SLAB-ON-GRADE FLOORS - UNHEATED SLABS: R-20 FOR 24" BELOW, OPAQUE DOORS, SWINGING: 0.37 U-VALUE, VERTICAL, FIXED FENESTRATION (PF=0.5): 0.34 U-VALUE +SHGC = 0.61, VERTICAL, OPERABLE FENESTRATION (PF=0.5): 0.42 U-VALUE +SHGC = 0.54, VERTICAL, ENTRANCE DOORS (PF=0.5): 0.63 U-VALUE +SHGC = 0.54

6 INDEX OF DRAWINGS

Table with columns: SHEET NO., SHEET TITLE, REV. NO., REV. DESCRIPTION, ISS. DATE, PERMIT SET. Includes entries for GENERAL COVER SHEET & GENERAL NOTES, CIVIL COVER SHEET, SITE PLAN, GRADING PLAN, OVERALL UTILITY PLAN, STA 0+00 - 4+00, STA 4+00 - 7+30, DETAILS, HYDROLOGY DETAILS, STORMTECH DETAILS, UTILITY DETAILS, UTILITY DETAILS, STORMWATER POLLUTION PREVENTION PLAN, SWPPP DETAILS.

Table listing architectural details: A100 EXITING & OCCUPANCY PLANS, A100a SEPARATIONS LISTING INFO, A101 MAIN LEVEL FLOOR PLAN, A102 SECOND LEVEL FLOOR PLAN, A102a ENLARGED SECOND LEVEL FLOOR PLAN - AREA A, A102b ENLARGED SECOND LEVEL FLOOR PLAN - AREA B, A105 ROOF PLAN, A111 REFLECTED CEILING PLAN, A112 REFLECTED CEILING PLAN, A131 FOOTING AND FOUNDATION PLAN, A201 EXTERIOR ELEVATIONS, A202 EXTERIOR ELEVATIONS, A301 BUILDING SECTIONS, A302 BUILDING SECTIONS, A401 ENLARGED PLAN, INTERIOR ELEVATIONS & FINISH SCHEDULE, A405 ENLARGED STAIR PLANS & SECTIONS, A501 ARCHITECTURAL DETAILS, A502 ARCHITECTURAL DETAILS, A601 WALL TYPES, DOOR & WINDOW SCHEDULES.

Table listing structural details: S1 FOOTING / FOUNDATION PLAN, S2 LOWER FLOOR FRAMING PLAN, S3 UPPER FLOOR / LOWER ROOF FRAMING PLAN, S4 ROOF FRAMING PLAN, SD1 DETAILS & NOTES, SD2 DETAILS & NOTES, SD3 DETAILS & NOTES, WSWH1 STRONG-WALL WSWH, WSWH2 STRONG-WALL WSWH.

Table listing mechanical/plumbing details: M000 MECHANICAL & PLUMBING TITLE SHEET, M101 LEVEL 1 MECHANICAL PLAN, M102 LEVEL 2 MECHANICAL PLAN, M501 MECHANICAL DETAILS, M701 MECHANICAL SCHEDULES, P101 LEVEL 1 PLUMBING PLANS, P102 LEVEL 2 PLUMBING PLAN, P501 PLUMBING DETAILS, P701 PLUMBING SCHEDULES.

Table listing electrical details: E000 ELECTRICAL GENERAL SHEET, E001 ELECTRICAL SITE PLAN, E101 MAIN LEVEL LIGHTING PLAN, E102 SECOND LEVEL LIGHTING PLAN, E201 MAIN LEVEL POWER PLAN, E202 SECOND LEVEL POWER PLAN, E501 ELECTRICAL DETAILS, E601 ELECTRICAL SCHEDULES, E602 ELECTRICAL SCHEDULES, E603 ELECTRICAL SCHEDULES.

DEFERRED SUBMITTALS

- 1. SIGNAGE (SEPARATE PERMIT)
2. FIRE SPRINKLER SYSTEM.
3. FIRE ALARM SYSTEM.
4. PREMANUFACTURED ROOF TRUSSES.

OWNER: DAVID SPRINGER / TRAVIS NOKES
1041 LIME CANYON WAY MIDWAY, UTAH 84049
M: 801.725.9900
CONTACT: TRAVIS NOKES
EMAIL: travis@blackoakutah.com
ARCHITECT: ORDER ARCHITECTURE

STRUCTURAL ENGINEER: YORK ENGINEERING
4883 OLD HIGHWAY ROAD MORGAN, UTAH 84050
B: 801.876.3501
M: CONTACT: MIKE DENT
EMAIL: mike@yorkengr.com
ELECTRICAL ENGINEER: ROCKY MOUNTAIN CONSULTING ENGINEERS, INC.
2332 W. 12600 S. SUITE F RIVERTON, UTAH 84065
B: 801.566.0503
M: 385.228.5551
CONTACT: DUSTIN HUGHES
EMAIL: dustin@rmceut.com
MECHANICAL ENGINEER: JTB HVAC & PLUMBING ENGINEERING
922 W BAXTER DRIVE, SUITE 100 SOUTH JORDAN, UTAH 84095
B: 801.849.8590
M: 801.707.5011
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52 WEST 100 NORTH HEBER CITY, UT 84032
B: 435.654.4828
M: CONTACT: CAL JOHNSON
EMAIL: cal@legendengineering.com

Vertical table with columns: MARK, ISSUE DESCRIPTION, ISS. DATE, REV. DATE. Includes entry for STUDIO CHANGE on 10/20/23.

ORDER ARCHITECTURE logo and contact information: T 801.597.7641, 4478 W DORENA LN SOUTH JORDAN, UT 84009, paul@order-arch.com, www.order-arch.com

Springer Triplet project title block: SPRINGER TRIPLET, 49 NORTH 200 WEST MIDWAY, UTAH 84049

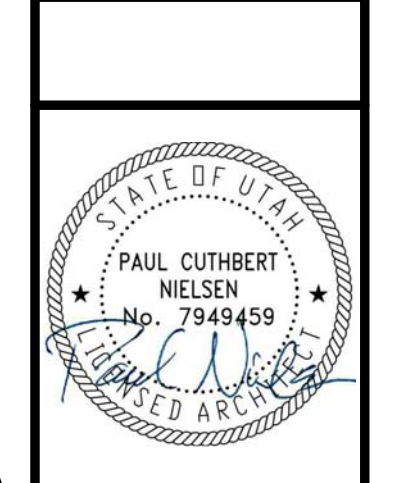


Table with columns: PROJECT NUMBER (147.2301), COVER SHEET & GENERAL NOTES, DRAWING NUMBER (G001).

1 2 3 4 5 6

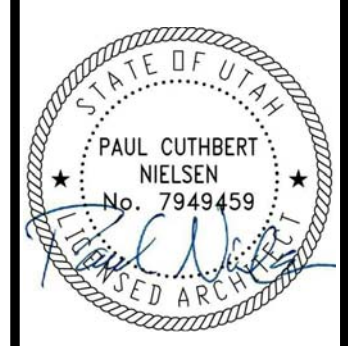
EXTERIOR ELEVATION GENERAL NOTES:

- A. SEE SHEET A601 FOR DOOR AND WINDOW SCHEDULES.
- B. SAND PLASTER EXPOSED SURFACES OF FOUNDATION WALL.
- C. DOWNSPOUT LOCATIONS TO BE AS UNOBTRUSIVE AS POSSIBLE AND TO BE RUN UNDERGROUND - COORDINATE WITH CIVIL DRAWINGS.
- D. CHIMNEY HEIGHT TO BE 36" TALLER THAN ADJOINING ROOF AND 24" HIGHER THAN ANY ROOF WITH IN 10' HORIZONTAL.
- E. COORDINATE / VERIFY ALL FINISHES WITH OWNER.

MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DATE
01	PERMIT SET	10.12.2023	


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SPRINGER TRIPLET
 49 NORTH 200 WEST
 MIDWAY, UTAH 84049



PROJECT NUMBER 147.2301
EXTERIOR ELEVATIONS
DRAWING NUMBER A201



C1 WEST ELEVATION
A201 3/16" = 1'-0"



A1 SOUTH ELEVATION
A201 3/16" = 1'-0"

1 2 3 4 5 6

D

D

C

C

B

B

A

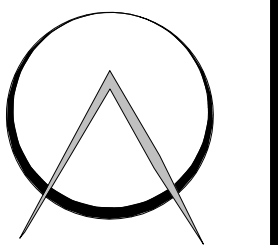
A

1 2 3 4 5 6

EXTERIOR ELEVATION GENERAL NOTES:

- A. SEE SHEET A601 FOR DOOR AND WINDOW SCHEDULES.
- B. SAND PLASTER EXPOSED SURFACES OF FOUNDATION WALL.
- C. DOWNSPOUT LOCATIONS TO BE AS UNOBTRUSIVE AS POSSIBLE AND TO BE RUN UNDERGROUND - COORDINATE WITH CIVIL DRAWINGS.
- D. CHIMNEY HEIGHT TO BE 36" TALLER THAN ADJOINING ROOF AND 24" HIGHER THAN ANY ROOF WITH IN 10' HORIZONTAL.
- E. COORDINATE / VERIFY ALL FINISHES WITH OWNER.

MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DATE
2	STUDIO CHANGE		10.20.23
01	PERMITS SET	10.12.2023	



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PROJECT NUMBER
147.2301

EXTERIOR
ELEVATIONS

DRAWING NUMBER

A202



1 2 3 4 5 6

D

D

C

C

B

B

A

A

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FLOOR PLAN GENERAL NOTES:

- A. GENERAL NOTES APPLY TO ALL DRAWINGS.
- B. ALL DIMENSIONS ARE TO FINISH FACE OF WALL OR TILE SUBSTRATE UNLESS OTHERWISE NOTED.
- C. DO NOT SCALE DRAWINGS.
- D. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- E. ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNUSED UNLESS NOTED OTHERWISE.
- F. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED, AND INDICATED IN THE CONTRACTORS BID.
- G. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
- H. GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- I. ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
- J. GENERAL CONTRACTOR TO COORDINATE WITH OWNER WITH REGARDS TO ALL INTERIOR FINISHES AND MATERIALS FOR PRODUCTS AND INSTALLATION.
- K. GENERAL CONTRACTOR TO COORDINATE ALL RESTROOM ACCESSORIES WITH OWNER. SEE MOUNTING HEIGHT DETAILS ON A501.
- L. SEE DETAILS B2, B3 & B4 ON SHEET A502 FOR EXTERIOR WALL LOCATIONS IN RELATIONSHIP TO FOUNDATION WALL.

EGRESS & OCCUPANCY LEGEND:

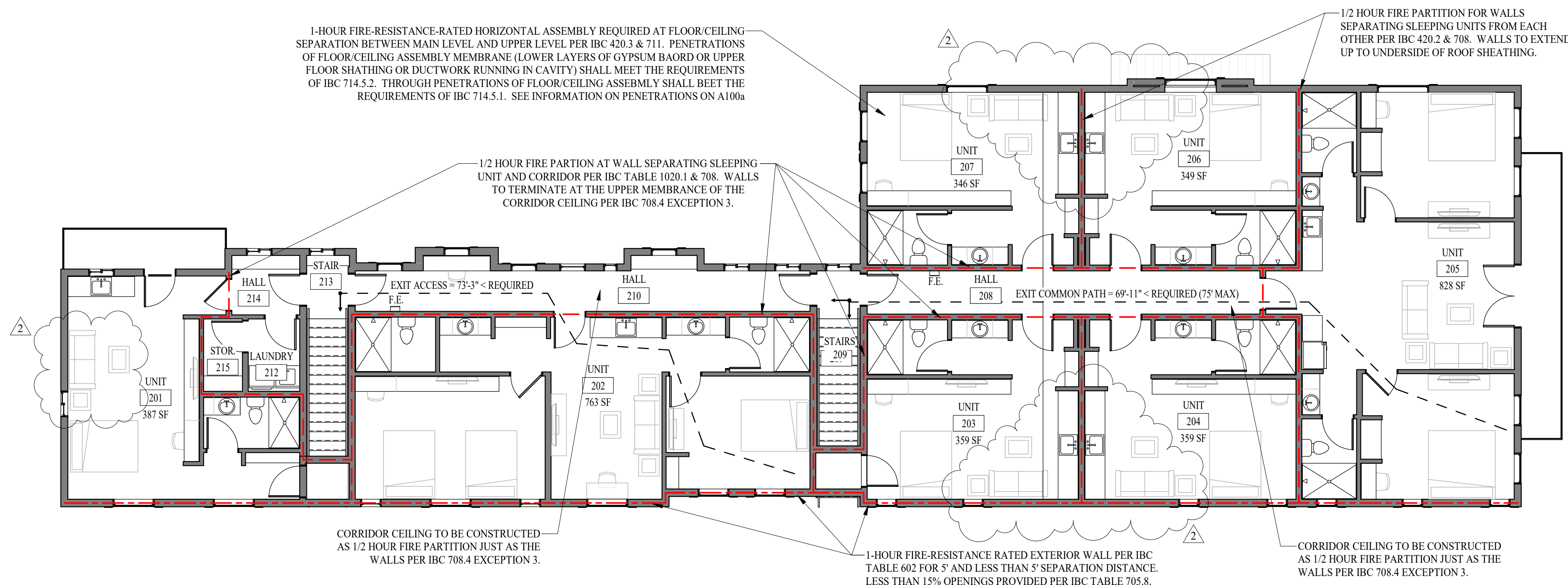
- EXIT 169 OCC → EXIT DISCHARGE AND LOAD FACTOR
- F.E. FIRE EXTINGUISHER (SURFACE-MOUNT). PROVIDE 2A:10BC RATED FIRE EXTINGUISHER.
- LINE INDICATES TRAVEL DISTANCE TO FIRE EXTINGUISHERS
- - - LINE INDICATES EXIT ACCESS (<250') / COMMON PATH OF EGRESS TRAVEL (<75')
- 1/2 HOUR FIRE RATED PARTITION
- 1 HOUR FIRE RATED PARTITION

WHERE FIRE PARTITIONS DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING THE SPACE ABOVE AND ALONG THE LINE OF THE FIRE PARTITION SHALL BE PROVIDED WITH ONE OF THE FOLLOWING:

1. FIREBLOCKING UP TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE USING MATERIALS COMPLYING WITH SECTION 718.2.1.
2. DRAFTSTOPPING UP TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE USING MATERIALS COMPLYING WITH SECTION 718.3.1 FOR FLOORS OR SECTION 718.4.1 FOR ATTICS.

EXCEPTION: WHERE CORRIDOR WALLS PROVIDE A SLEEPING UNIT OR DWELLING UNIT SEPARATION, DRAFTSTOPPING SHALL ONLY BE REQUIRED ABOVE ONE OF THE CORRIDOR WALLS.

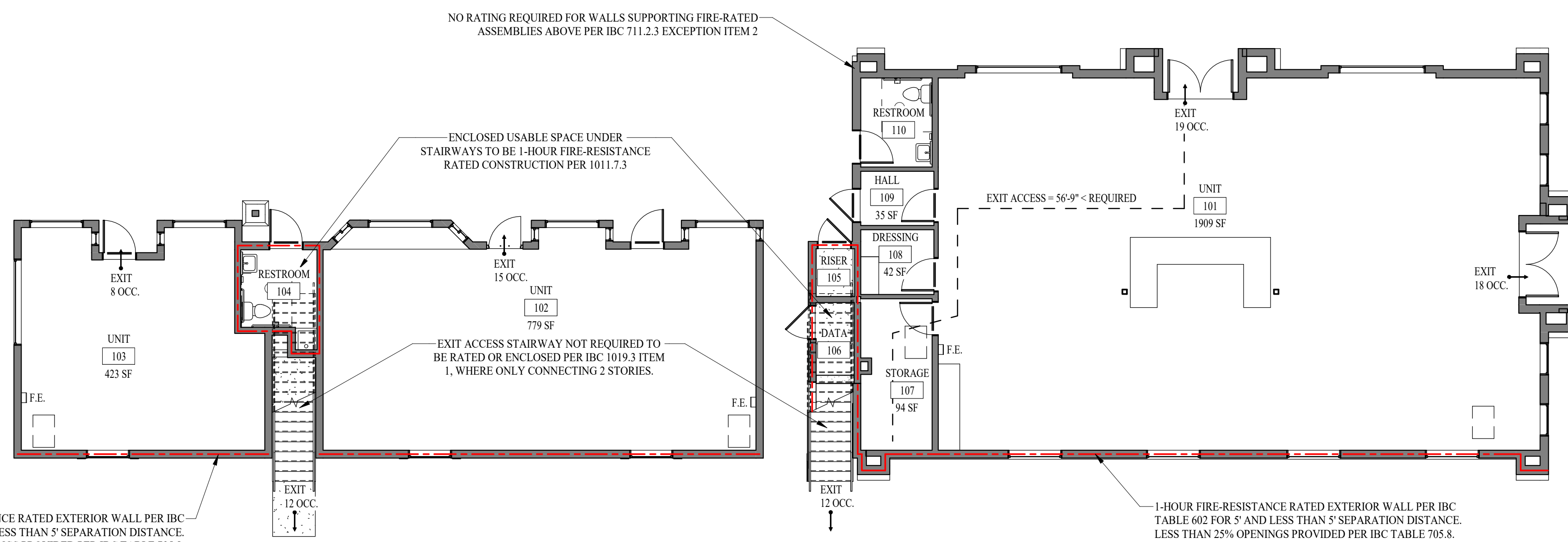
PROVIDE OPENINGS IN FIREBLOCKING/DRAFTSTOPPING TO ALLOW ACCESS INTO ALL ATTIC SPACES. OPENING SHALL BE PROTECTED BY SELF-CLOSING 20 MINUTE RATED DOORS WITH AUTOMATIC LATCHES.



A100 SECOND LEVEL EXITING PLAN 1/8" = 1'-0"

OCCUPANCY LOAD SCHEDULE

SPACE	OCCUPANCY	AREA	LOAD FACTOR	OCCUPANTS
MAIN LEVEL				
101 UNIT	MERCANTILE	2069 SF	60	35
102 UNIT	MERCANTILE	880 SF	60	15
103 UNIT	MERCANTILE	479 SF	60	8
104 RESTROOM	MERCANTILE	71 SF	60	2
107 STORAGE	STORAGE	118 SF	300	1
110 RESTROOM	MERCANTILE	77 SF	60	2
DRESSING	EQUIPMENT	47 SF	300	1
EQUIPMENT	EQUIPMENT	44 SF	300	1
HALL		42 SF		
		3827 SF		64
SECOND LEVEL				
RESIDENTIAL		4671 SF	200	24
		4671 SF		24
TOTAL OCCUPANTS		8498 SF		88



A100 MAIN LEVEL EXITING FLOOR PLAN 1/8" = 1'-0"

MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DATE
2	STUDIO CHANGE		10/20/23
01	PERMIT SET	10/12/2023	

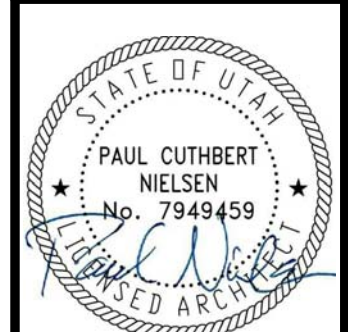
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PROJECT NUMBER 1472301

EXITING & OCCUPANCY PLANS

DRAWING NUMBER

A100

1 2 3 4 5 6

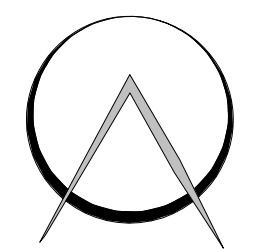
KEYNOTE LEGEND

- 105 DRESSING ROOM BENCH SHOWN TO ALLOW ADA CLEAR TOE CLEARANCE PER DIMENSION SHOWN FROM 0" TO 9" ABOVE FLOOR.
- 506 STEEL COLUMN - SEE STRUCTURAL.
- 1001 SURFACE MOUNT FIRE EXTINGUISHER
- 2202 JANITOR SINK, SEE PLUMBING DRAWINGS
- 2302 MECHANICAL EQUIPMENT, SEE MECHANICAL
- 2303 MECHANICAL FLOOR GRILLE - SEE MECHANICAL DRAWINGS.
- 2602 ELECTRICAL EQUIPMENT, SEE ELECTRICAL

FLOOR PLAN GENERAL NOTES:

- A. GENERAL NOTES APPLY TO ALL DRAWINGS.
- B. ALL DIMENSIONS ARE TO FINISH FACE OF WALL OR TILE SUBSTRATE UNLESS OTHERWISE NOTED.
- C. DO NOT SCALE DRAWINGS.
- D. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- E. ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNUSED UNLESS NOTED OTHERWISE.
- F. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED, AND INDICATED IN THE CONTRACTORS BID.
- G. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
- H. GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- I. ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
- J. GENERAL CONTRACTOR TO COORDINATE WITH OWNER WITH REGARDS TO ALL INTERIOR FINISHES AND MATERIALS FOR PRODUCTS AND INSTALLATION.
- K. GENERAL CONTRACTOR TO COORDINATE ALL RESTROOM ACCESSORIES WITH OWNER. SEE MOUNTING HEIGHT DETAILS ON A501.
- L. SEE DETAILS B2, B3 & B4 ON SHEET A502 FOR EXTERIOR WALL LOCATIONS IN RELATIONSHIP TO FOUNDATION WALL.

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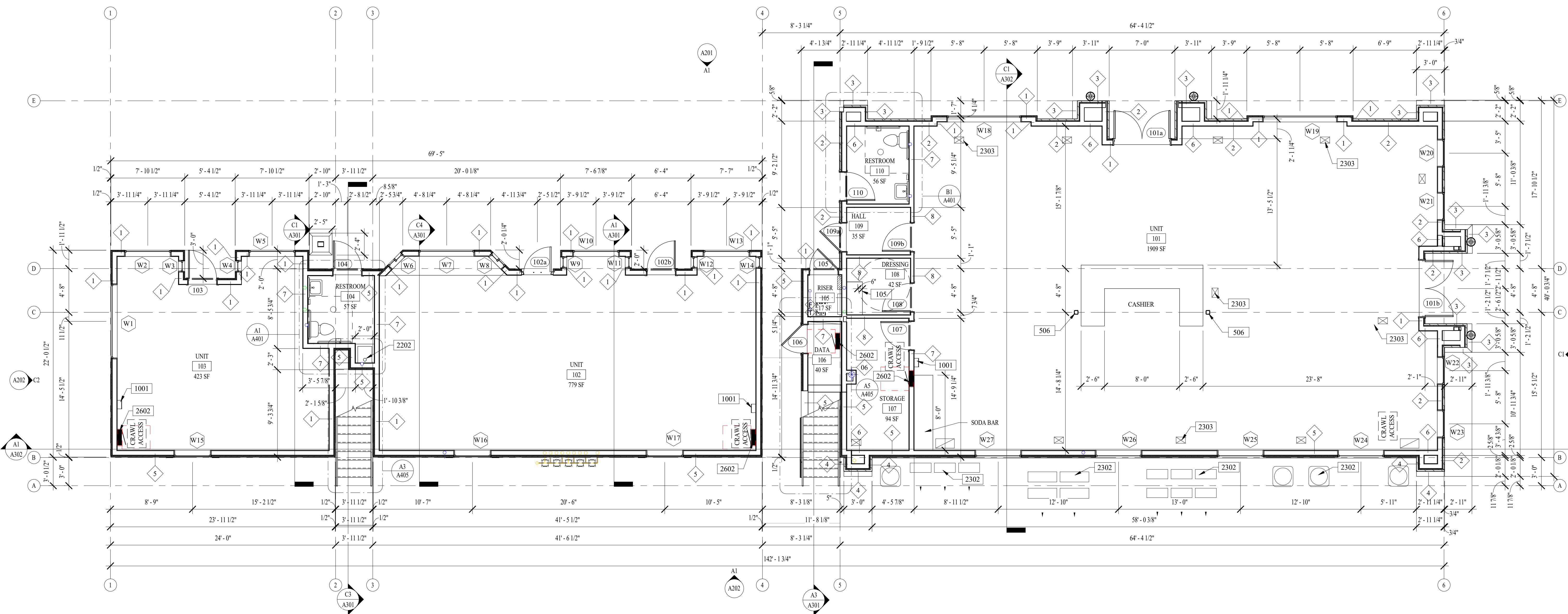


PROJECT NUMBER
1472301

MAIN LEVEL FLOOR PLAN

DRAWING NUMBER

A101



MAIN LEVEL FLOOR PLAN
3/16" = 1'-0"

1 2 3 4 5 6

FLOOR PLAN GENERAL NOTES:

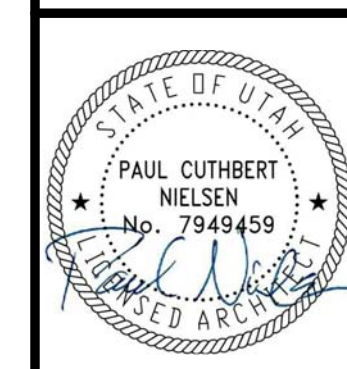
- A. GENERAL NOTES APPLY TO ALL DRAWINGS.
- B. ALL DIMENSIONS ARE TO FINISH FACE OF WALL OR TILE SUBSTRATE UNLESS OTHERWISE NOTED.
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- L. SEE DETAILS B2, B3 & B4 ON SHEET A502 FOR EXTERIOR WALL LOCATIONS IN RELATIONSHIP TO FOUNDATION WALL.

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01	PERMIT SET	10.12.2023	

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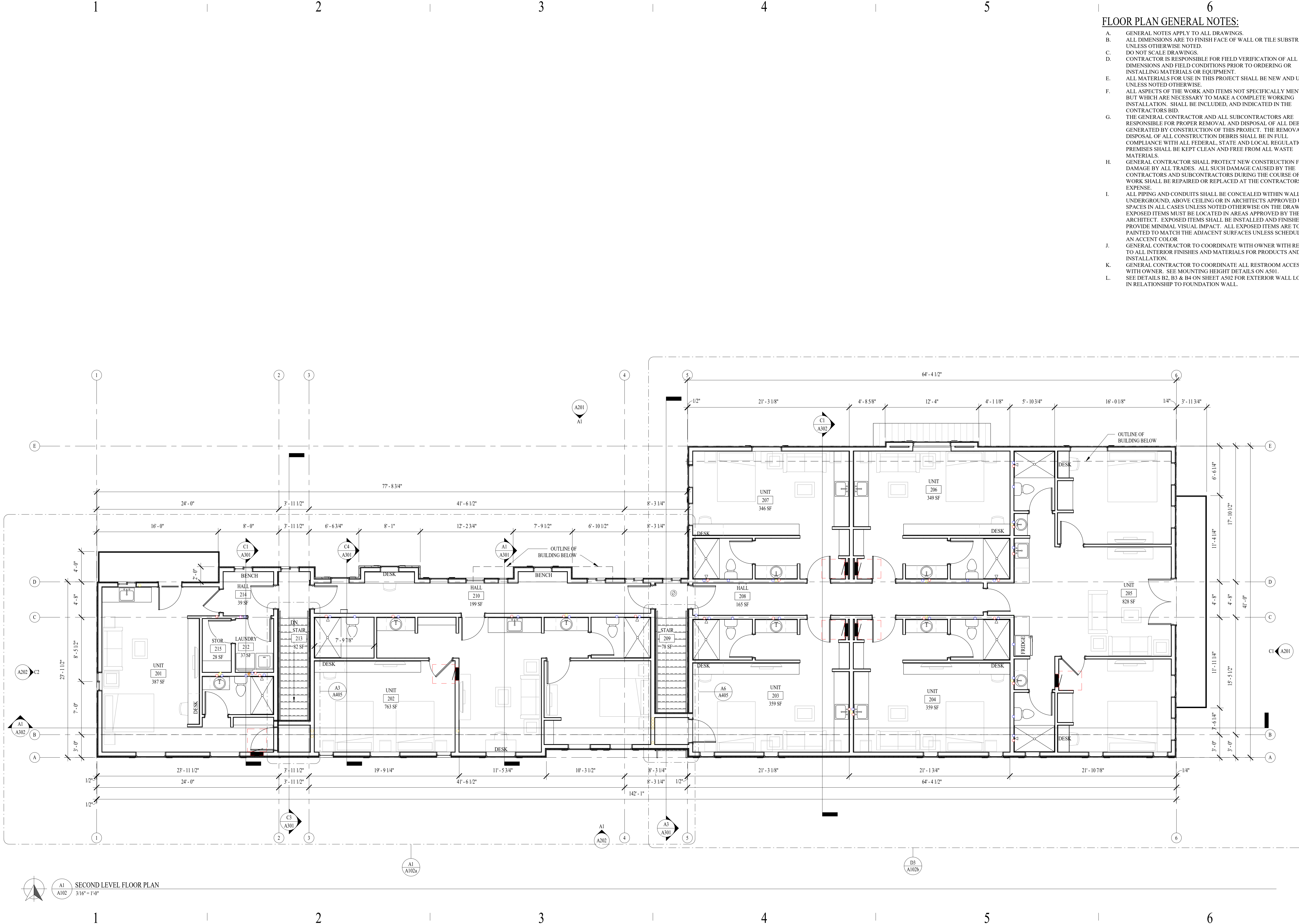


PROJECT NUMBER
147.2301

SECOND LEVEL
FLOOR PLAN

DRAWING NUMBER

A102



SECOND LEVEL FLOOR PLAN
3/16" = 1'-0"

D

D

C

C

B

B

A

A

KEYNOTE LEGEND

- 104 42" HIGHT GUARDRAIL - COORDINATE STYLE WITH OWNER.
- 1001 SURFACE MOUNT FIRE EXTINGUISHER
- 2602 ELECTRICAL EQUIPMENT, SEE ELECTRICAL

FLOOR PLAN GENERAL NOTES:

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PROJECT NUMBER
147.2301

ENLARGED SECOND
LEVEL FLOOR PLAN -
AREA A

DRAWING NUMBER
A102a

D

D

C

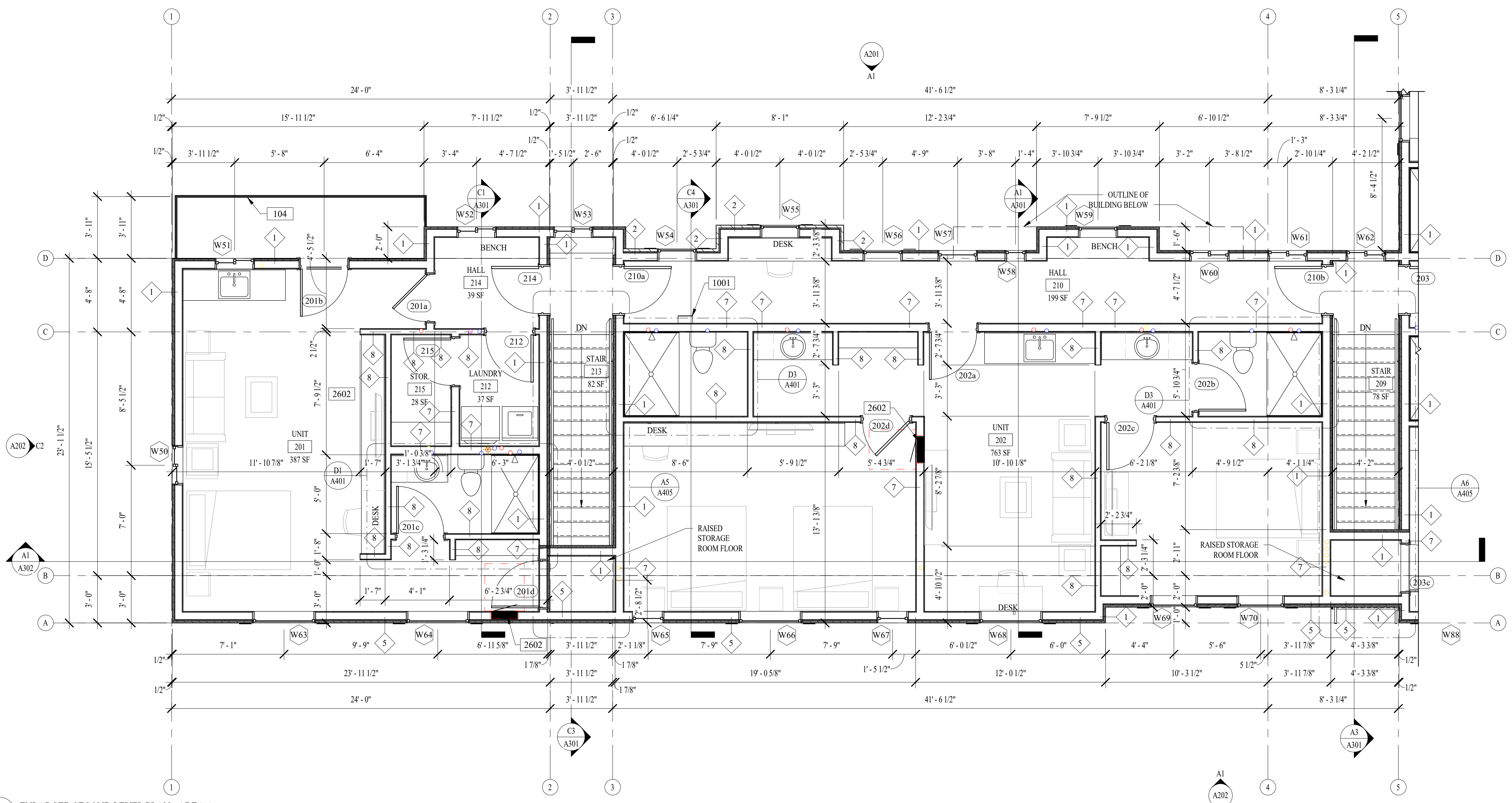
C

B

B

A

A



ENLARGED SECOND LEVEL PLAN - AREA A
1/4" = 1'-0"

1

2

3

4

5

6

KEYNOTE LEGEND

- 104 42" HIGH GUARDRAIL - COORDINATE STYLE WITH OWNER.
- 1001 SURFACE MOUNT FIRE EXTINGUISHER
- 2602 ELECTRICAL EQUIPMENT, SEE ELECTRICAL

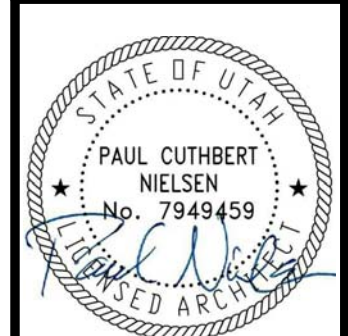
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- L. SEE DETAILS B2, B3 & B4 ON SHEET A502 FOR EXTERIOR WALL LOCATIONS IN RELATIONSHIP TO FOUNDATION WALL.

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2	STUDIO CHANGE		10/20/23
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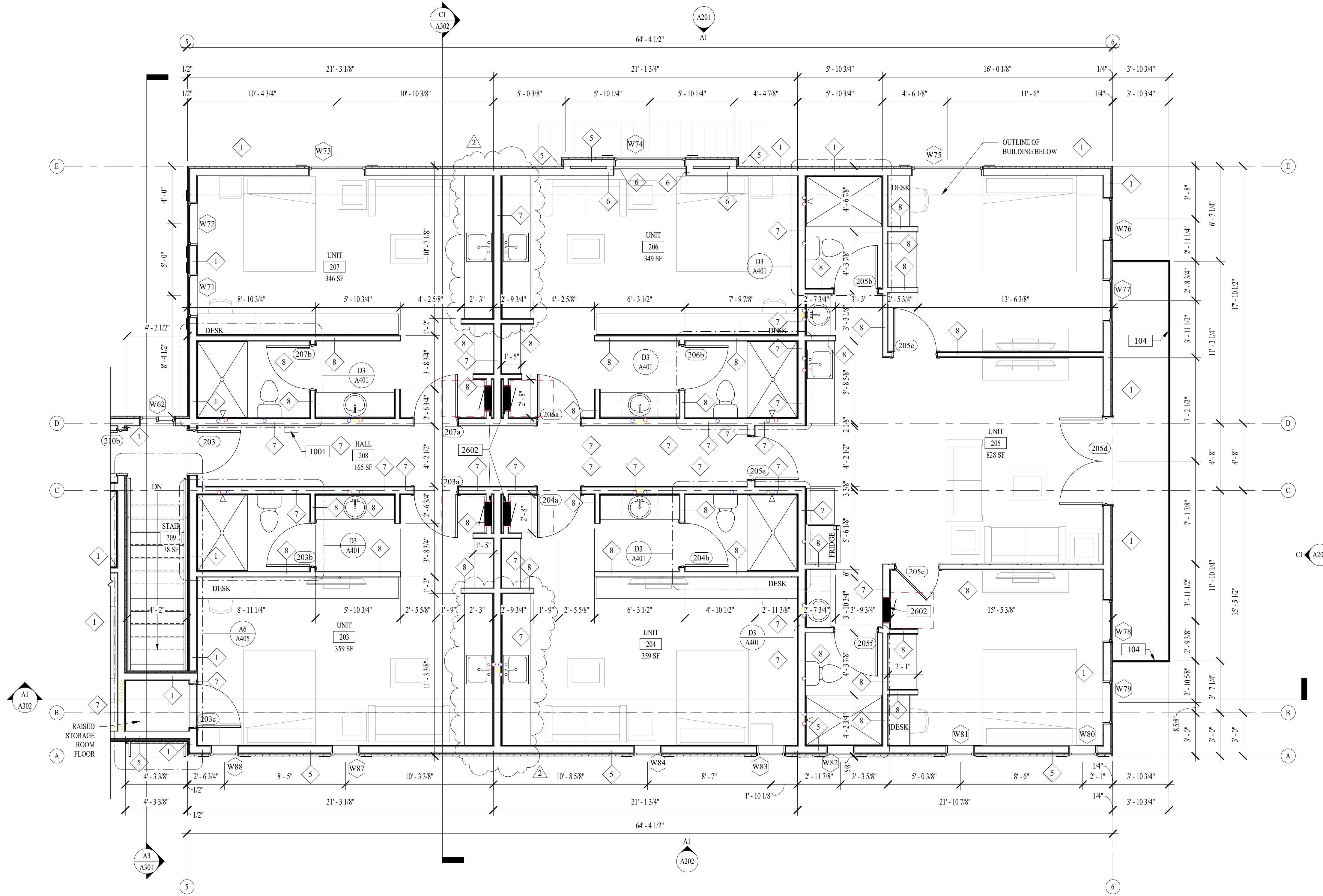


PROJECT NUMBER
1472301

ENLARGED SECOND LEVEL FLOOR PLAN - AREA B

DRAWING NUMBER

A102b



D3 ENLARGED SECOND LEVEL PLAN - AREA B
 A102b 1/4" = 1'-0"

1

2

3

4

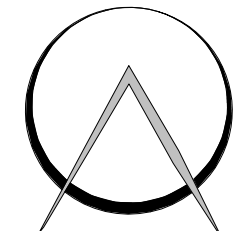
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6

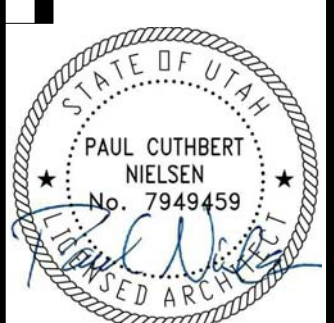
ROOF PLAN GENERAL NOTES:

- A. SLOPE ALL CRICKETS 1/4" PER FOOT MINIMUM OR PER MANUFACTURER RECOMMENDATIONS.
- B. FLASH AND SEAL ALL ROOF PENETRATION PER MANUFACTURERS RECOMMENDED DETAILS.
- C. ROOF ASSEMBLY TO HAVE A MINIMUM CLASS C ROOF COVERING CLASSIFICATION.
- D. CONTRACTOR TO PROVIDE ALL FITTINGS, PIPE JACKS, FLASHING SEALANTS, AND FASTENERS TO COMPLETE INSTALLATION.
- E. PROVIDE SNOW AND ICE SHIELD AT LEAST 36" WIDE IN ALL VALLEYS AND ALSO FROM THE LOWEST ROOF EDGE OF ALL ROOF SURFACES TO A POINT 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
- F. ALL VENT STACKS TO BE HIDDEN FROM MAJOR VIEWS - COORDINATE WITH OWNER.
- G. ROOF VENT CALC. 498/300=16.5 S.F. VENTS REQUIRED. PROVIDED. PROVIDE 1/2 WITH GABLE LOUVERS OR RIDGE VENTS. WHERE EAVE VENTS OR CORNICE VENTS ARE INSTALLED. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR.
- H. PROVIDE BAFFLES AT ATTIC TRUSSES INSULATED CAVITIES TO PROVIDE PATHWAY FOR VENTILATION FROM EAVES TO RIDGES.
- I. INSTALL GUTTER AND DOWNSPOUT TO BE AS UNOBTUSIVE AS POSSIBLE.
- J. CHIMNEY HEIGHT TO BE 36" TALLER THAN ADJOINING ROOF AND 24" HIGHER THAN ANY ROOF WITH IN 10' HORIZONTAL.

MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DATE
01	PERMITS SET	10.12.2023	

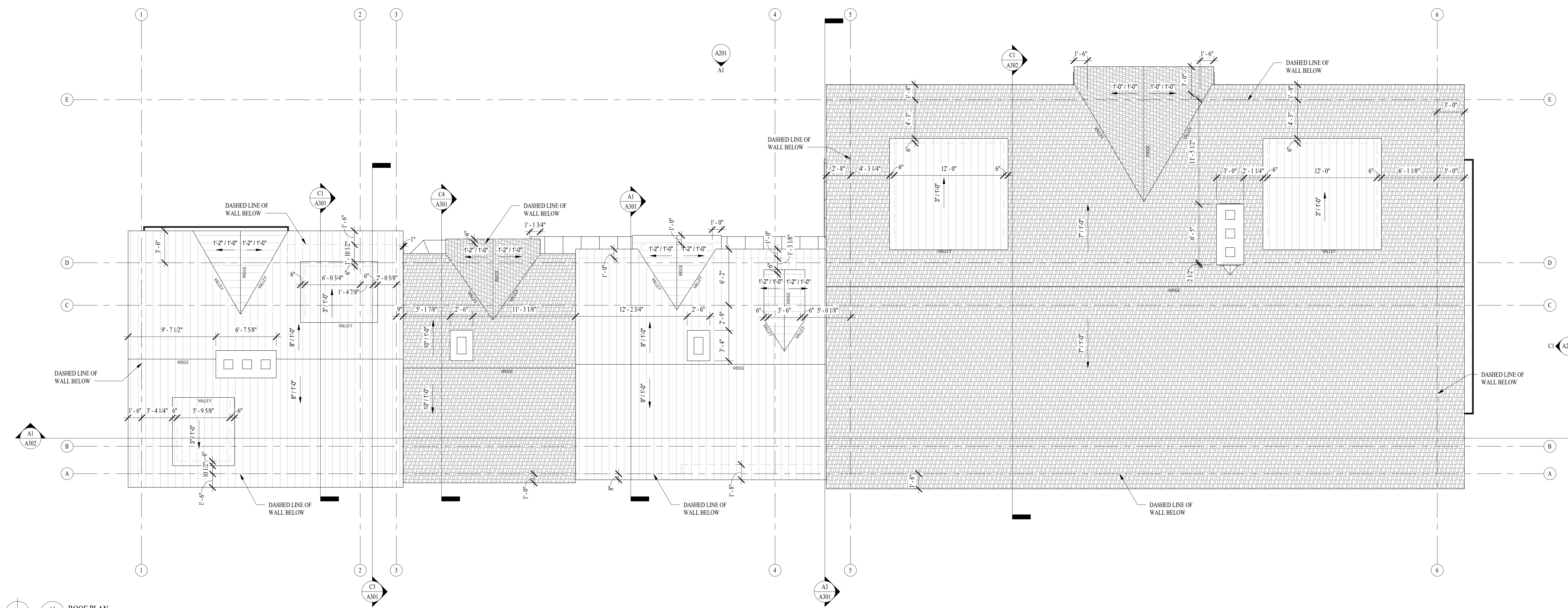

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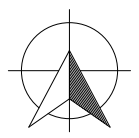
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PROJECT NUMBER
 147.2301
 ROOF PLAN
 DRAWING NUMBER

A105




 A1
 A105 ROOF PLAN
 3/16" = 1'-0"

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