



**PLANNING COMMISSION MEETING STAFF REPORT**

**DATE OF MEETING:** May 14, 2024

**NAME OF PROJECT:** Springer Farms

**PROPERTY OWNER:** Springer Farms Land Holdings LLC

**AUTHORIZED REPRESENTATIVE:** Travis Nokes

**AGENDA ITEM:** Final Approval to Subdivide Springer Farms Commercial Planned Unit Development – Condominium of Unit 4

**LOCATION OF ITEM:** 49 North 200 West

**ZONING DESIGNATIONS:** C-3

**ITEM: 3**

Travis Nokes is requesting Final Approval to subdivide the Robey Building of Springer Farms into a commercial condominium. The proposal would subdivide the Robey (Unit 4) building into ten units. The Robey Building will consist of seven short-term rental units on the upper floor and three commercial units on the lower floor. The property is located at 65 N 200 W and is in the C-3 zone.

**BACKGROUND:**

Travis Nokes, representative for Springer Farms Land Holdings LLC, is proposing final approval to subdivide Unit 4 of the Springer Farms Commercial Planned Unit Development into ten condominiums. The condominiums will consist of seven short-term rental units on the upper floor and three commercial units on the lower floor. This will allow the owner to sell each of the ten units to different entities that will be governed by the Codes, Covenants, and Restrictions (CC&Rs) of Springer Farms.

Commercial Condominiums are a conditional use in the C-3 zone. Currently, Springer Farms is a four-unit commercial planned unit development. The four units are four building sites surrounded by common area that the four units all own in common. What is being proposed is to add a plat to the recorded Springer Farms Subdivision. The new plat will be a condominium plat of Unit 4 that will divide it from one unit to ten units. Unit 4, which currently has one tax identification number, will have ten tax identification numbers. Likewise, Springer Farms, which currently has four tax identification numbers, will have 14 tax identification numbers. It is likely that Units 1-3 will also go through the same process in the future.

Unit 4 is currently under construction. There are different building code requirements for a condominium building as compared to a building in one ownership. It is staff's understanding that the building under construction is being built to the required condominium standards. As mentioned earlier, Springer Farms CC&Rs will govern all the units in the development. The landscaping and parking areas are recorded as common area and will be maintained by the Property Owners' Association.

The site is located to the west of Town Square and fronts on 200 West. The property is in the C-3 zone and commercial condominiums are allowed as a conditional use. The property is located in an important area of Midway because it surrounds the Town Square. The C-3 zone, that includes and surrounds the Town Square, is distinct from the C-2 zone which covers the majority of Main Street heading to the east. The difference between the two zones is the C-3 zone is more restrictive than the C-2 zone. For example, where the C-2 zone allows for several uses associated with vehicles such as gasoline stations and car washes, the C-3 zone is more restrictive and does not allow these types of uses. The C-3 zone is focused on restaurants, retail, offices, and other similar types of commercial uses. The purpose of this distinction is to create a walkable core to Midway that is a gathering area for the community. The City Council has recently reviewed a proposed master plan for the Town Square that will help the Town Square to be more usable year-round and a gathering place for the community. The City is also interested in compatible uses developing around the Town Square that will complement the area and create an active and vibrant Midway core. The Springer Village will help create that core with its eateries, commercial, and nightly rentals.

There are existing residents and commercial businesses in the area that will be impacted by the development and careful planning must be taken to mitigate negative impacts wherever reasonably possible. Because commercial planned unit developments are a conditional use, the City Council may require reasonable conditions to mitigate negative impacts to the neighbors and the area. Conditional uses are governed by the following standards:

- (a) A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards.

(b) If the reasonably anticipated detrimental effects of a proposed conditional use cannot be mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

The original approval of Springer Farms as a Conditional Use has the following conditions required as part of the approval and will continue to be required if Unit 4 is subdivided:

- Fencing be installed per the proposed fencing plan and compliance with City requirements.
- The windows facing off the property, on the second floor of any buildings, had to have window coverings installed on them.

**LAND USE SUMMARY:**

- C-3 zone
- 1.26 acres
- Unit 4 is 4,747 square feet (building footprint)
- Unit 4 will be a condominium plat
- Unit Four:
  - Three lower floor commercial units
  - Seven short-term rentals (will not include kitchens or individual laundry facilities)
- Private driveways, parking, and landscaping that will be common area and will be maintained by the Property Owners' Association

**ANALYSIS:**

*Architectural Theme* – The developer is required to receive architectural approval of all structures in a commercial planned unit development. The developer has presented renderings to the Visual Architecture Committee and has received a recommendation of approval for Unit 4.

*Parking* – The developer is providing 50 stalls in the proposed site plan. Based on the information provided, 44 stalls are required for the proposal (13 stalls for short-term rentals, 6.4 stalls for the west building lower floor and 4 stalls for the west building upper floor, 10.2 stalls for the south building lower floor, and 4.25 stalls for the restaurant, and 5.8 stalls for the north building).

*Height of structures* – Structures cannot exceed 35’ in height, measured from natural grade to the roof. Architectural elements may exceed the 35’ limit as per code.

*Transient Rental Overlay District* – The transient rental overlay district (TROD) covers the entire project area. The proposal is to create 13 short-term rental units (seven in Unit 4). The units will not contain kitchens or laundry facilities.

*Property Owners’ Association* – A Property Owners’ Association (POA) is required for any planned unit developments. It is the POA’s responsibility to maintain common areas that include landscaping, driveways, and parking areas. It is also possible that the POA will be required to maintain the outer walls, roofs, and shared areas within the buildings such as hallways and stairs. The developer has submitted the proposed Declaration of Covenants, Conditions and Restrictions which will be reviewed by the City Attorney.

*Landscaping and Fencing Plan* – A landscaping plan has been submitted to the City for staff and VAC review. The landscaping and fencing may help mitigate nuisance issue such as light and noise for surrounding residences. Normally fencing is not a requirement for commercial development but since a commercial condominium is a conditional use permit, fencing has been required to help mitigate nuisances. Fencing has been required along the southside of the parking lot and along the east side of the parking lot. The fencing will help shield vehicle lights from shining on the surrounding homes located in the commercial zone.

*Lighting Plan* – The applicant has submitted a statement that all lighting will have full cut-off as required by code. This requirement includes driveway lighting, commercial building lighting, and parking areas lighting. The purpose of the code is to assure the lights will comply the requirement of having full cut-off and to also assure that no light trespass will occur onto neighboring properties.

*Dumpster and Snow Storage Plan* – The developer has submitted a dumpster and snow storage plan. Dumpsters are required to be located in enclosures and the enclosures must be reviewed by the VAC. The applicant has also submitted a “Will-Serve” letter from Wasatch County Solid Waste Disposal District.



## **VISUAL AND ARCHITECTURAL COMMITTEE RECOMMENDATION:**

The Visual and Architectural Committee (VAC) reviewed renderings for the proposed development during their meeting on December 14, 2022. Signage will need to be reviewed and approved when more information is submitted.

## **POSSIBLE FINDINGS:**

- The proposal will benefit the City financially by creating a greater tax base and by providing more commercial options to the community.
- The proposal may help the City better comply with State requirements regarding the ability to collect resort tax.
- Commercial condominium developments are a conditional use in the C-3 zone.

## **ALTERNATIVE ACTIONS:**

1. Recommendation of Approval (conditional). This action can be taken if the Planning Commission finds the proposal complies with the requirements of the code.
  - a. Accept staff report
  - b. List accepted findings
  - c. Place condition(s) if needed
2. Continuance. This action can be taken if the Planning Commission that there are unresolved issues.
  - a. Accept staff report
  - b. List accepted findings
  - c. Reasons for continuance
    - i. Unresolved issues that must be addressed
  - d. Date when the item will be heard again
3. Recommendation of Denial. This action can be taken if the Planning Commission finds that the request does not comply with the requirements of the code.
  - a. Accept staff report
  - b. List accepted findings
  - c. Reasons for denial

**PROPOSED CONDITIONS:**

1. None

# Midway City Corporation

Mayor: Celeste T. Johnson  
City Council Members  
Lisa Christen • Jeffery Drury  
J.C. Simonsen • Steve Dougherty  
Kevin Payne



75 North 100 West  
P.O. Box 277  
Midway, Utah 84049  
Phone: 435-654-3223  
Fax: 435-654-4120  
midwaycityut.org

## Springer Farms Subdivision

February 6, 2024

Michael Henke Midway City Planning Director,

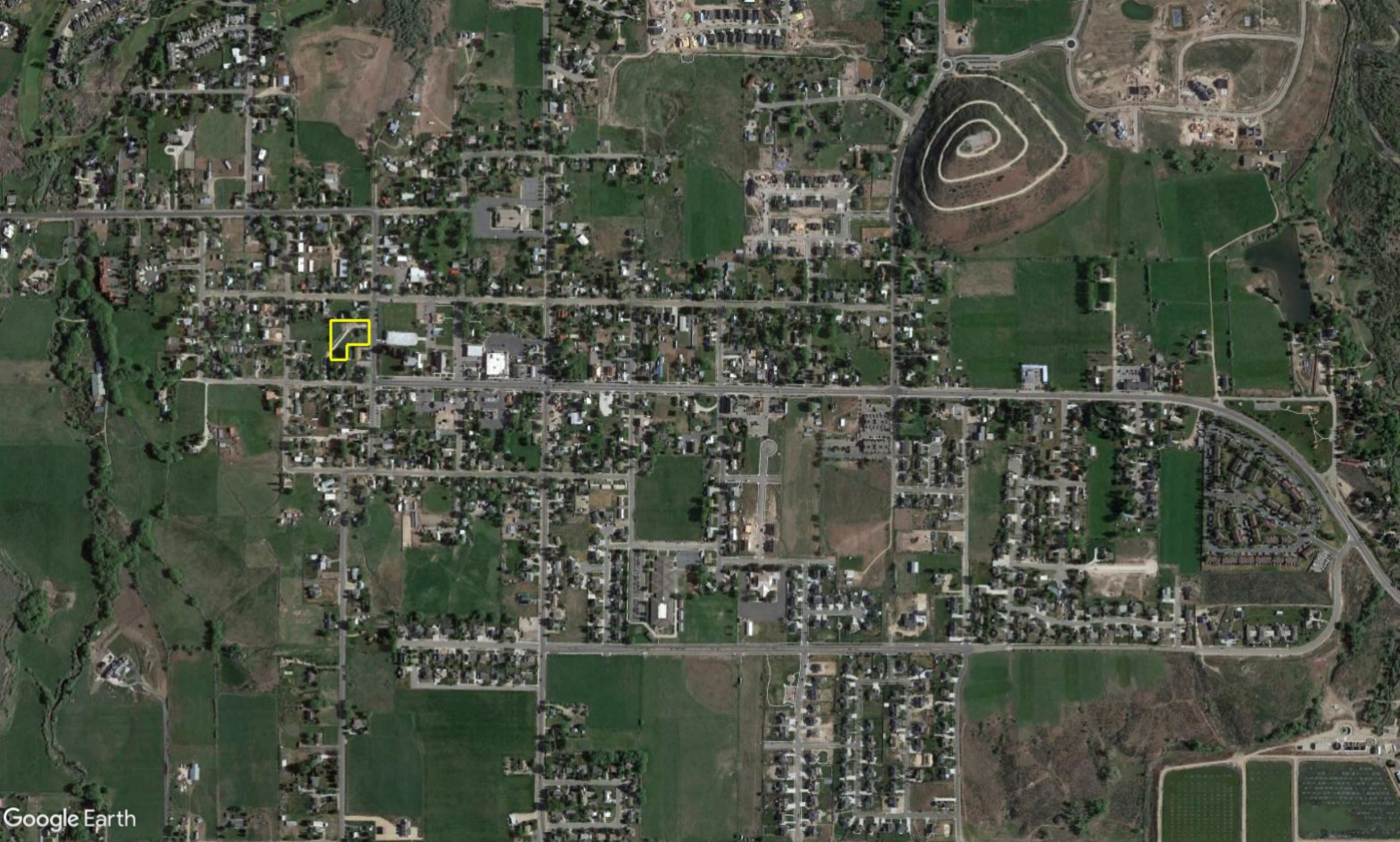
I have reviewed the proposed changes for the Springer Triplet Building, changing the building from one parcel number for the entire building to a separate parcel number for each unit inside the building so each unit can be sold separately, or condo minimized. The building permit for this building was already approved and issued under the original parcel number, typically a separate permit is issued for each parcel number but due to the situation this is not possible. The proposed changes do not change any of the code requirements that need to be met and they do not create any additional code requirements. What it does do is create difficulty in documentation so when future GRAMA requests are requested for a specific unit trying to verify where any of the documented code violations were before they were corrected. I have been able to resolve this concern by creating an inspection pod for each unit inside the current approved building permit for this building so separate inspections will be request for each unit and will be permanently documented in its on individual inspection pod, so this concern has been resolved.

Respectfully,

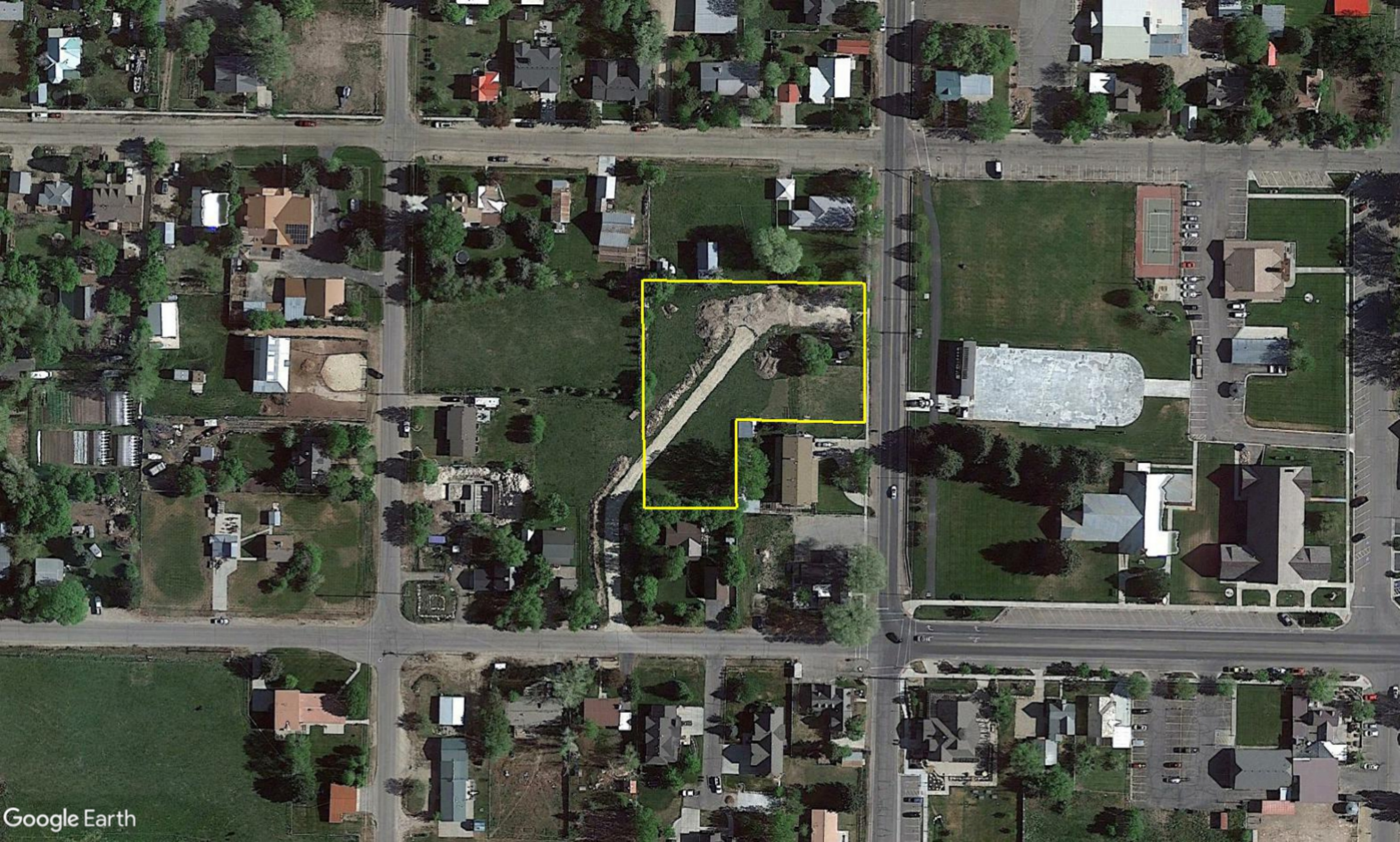


Tex R. Couch CBO/MCP  
Midway City Building Official/Fire Marshal  
75 West 100 North  
Midway, Utah 84049  
[tcouch@midwaycityut.org](mailto:tcouch@midwaycityut.org)  
(435)654-3223 Ext. 107

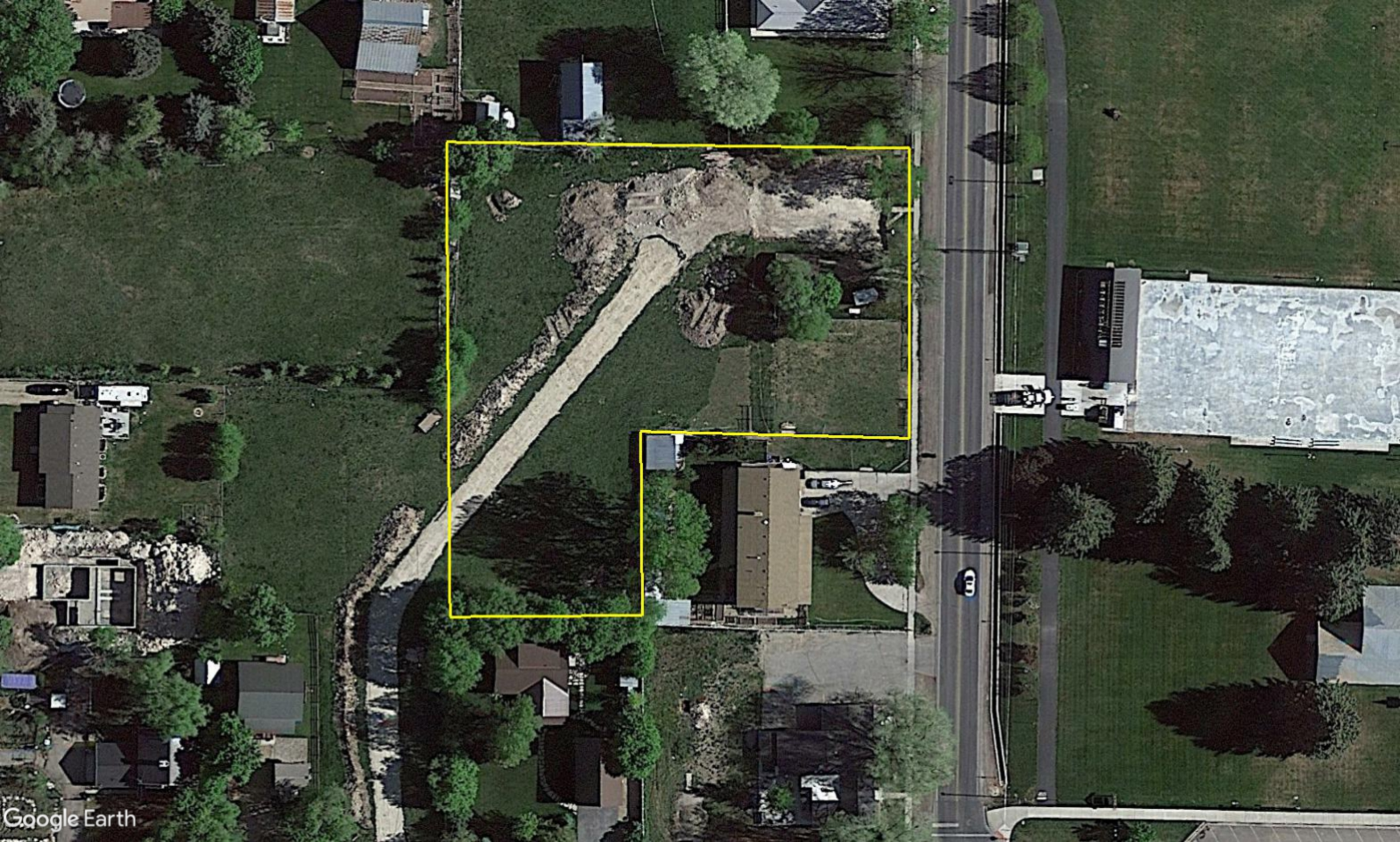












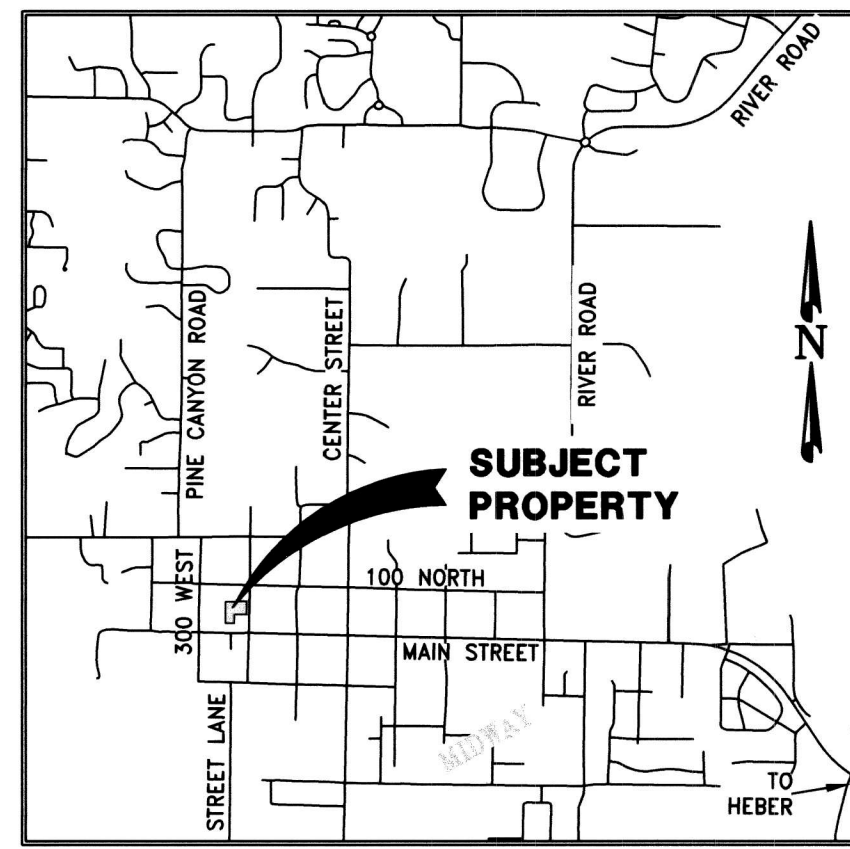










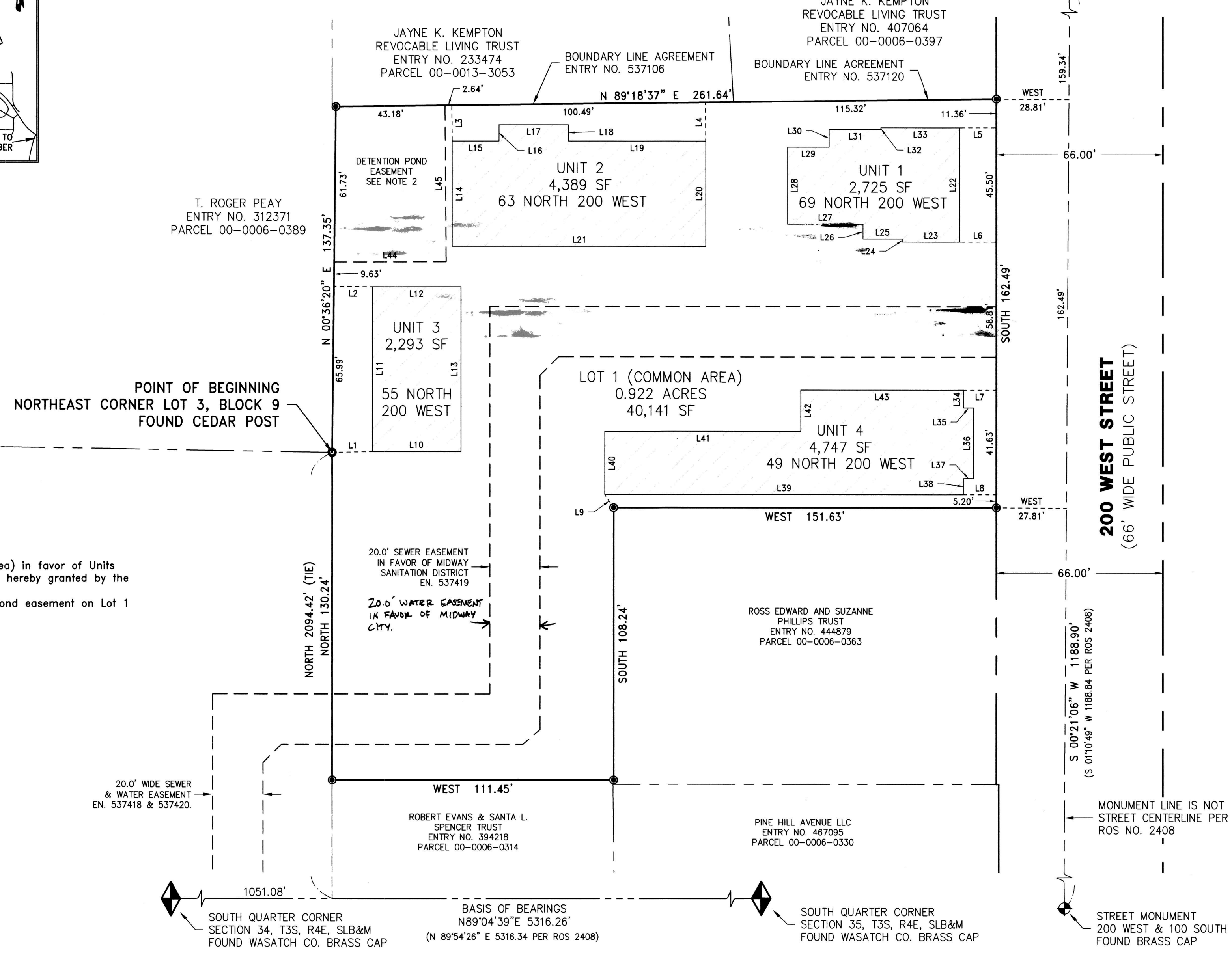


VICINITY MAP  
N.T.S.

**SPRINGER FARMS SUBDIVISION**

"COMMERCIAL PLANNED UNIT DEVELOPMENT"

PART OF BLOCK 9, MIDWAY SURVEY, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN, MIDWAY, WASATCH COUNTY, UTAH

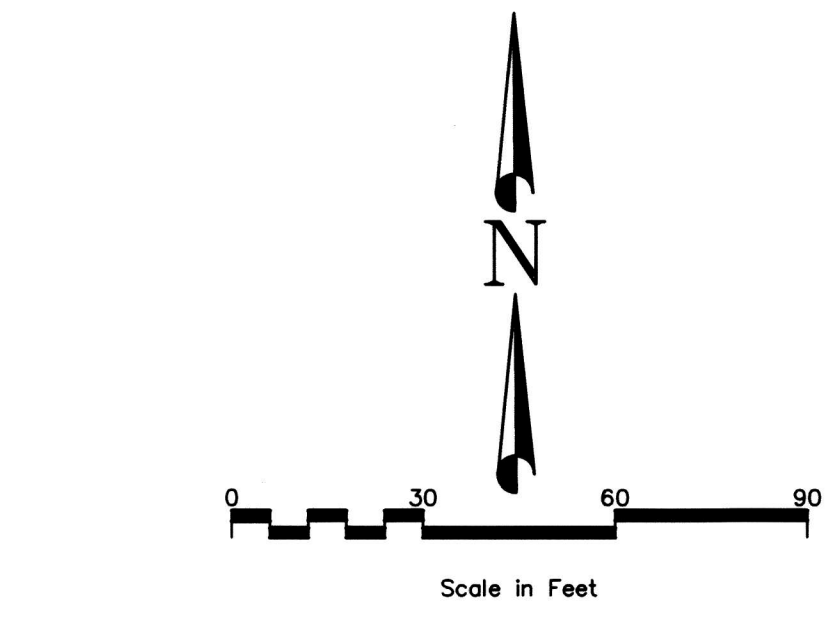
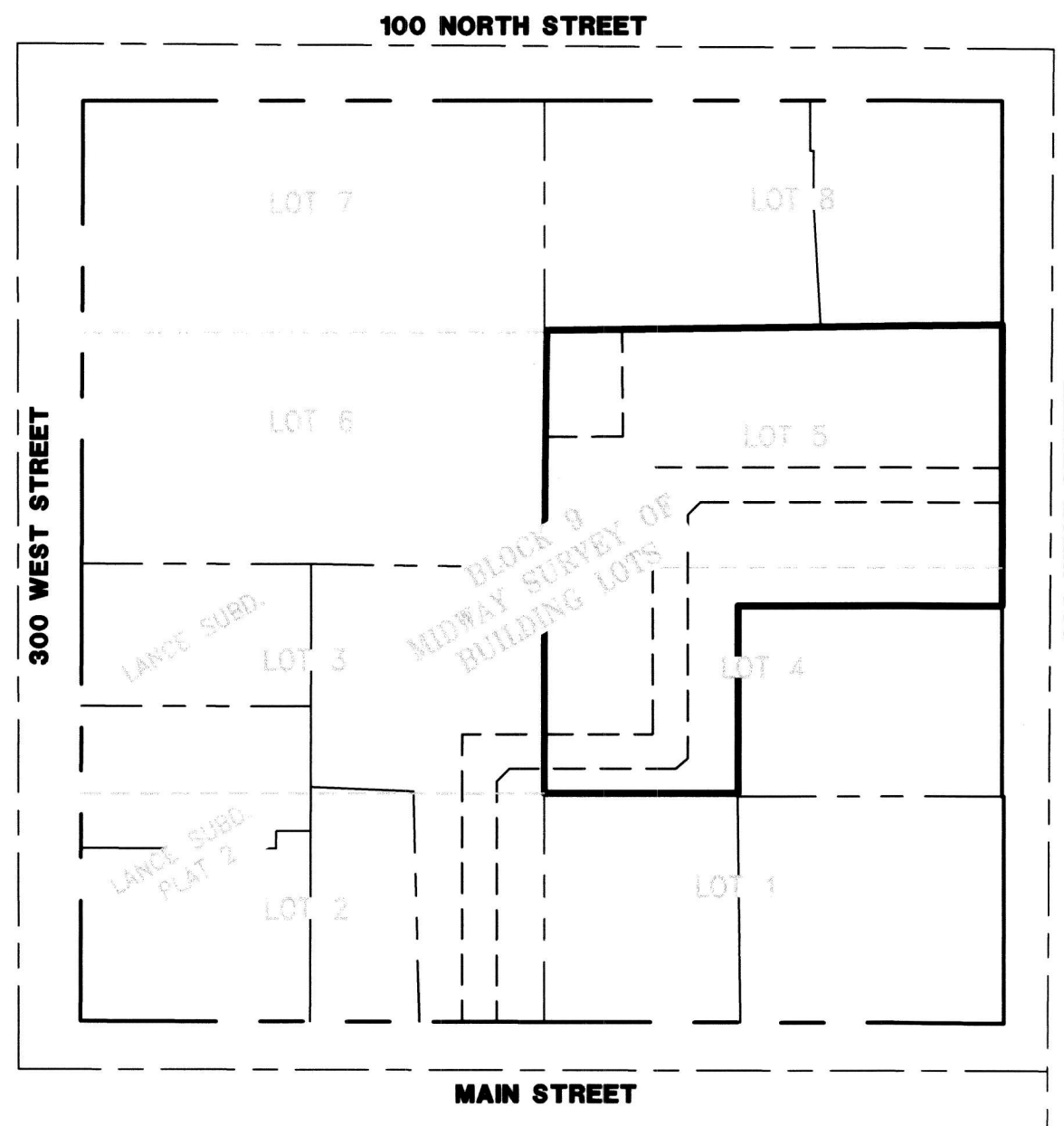


| LINE | BEARING       | LENGTH |
|------|---------------|--------|
| L1   | S 88°49'24" W | 15.94  |
| L2   | N 89°23'40" W | 15.25  |
| L3   | N 00°41'23" W | 14.17  |
| L4   | N 00°41'23" W | 15.38  |
| L5   | N 90°00'00" E | 14.59  |
| L6   | N 90°00'00" E | 14.59  |
| L7   | N 90°00'00" E | 13.01  |
| L8   | N 90°00'00" E | 13.01  |
| L9   | S 33°57'09" E | 6.27   |
| L10  | N 90°00'00" E | 35.00  |
| L11  | S 00°00'00" E | 65.50  |
| L12  | N 90°00'00" W | 35.00  |
| L13  | N 00°00'00" E | 65.50  |
| L14  | N 00°00'00" E | 41.89  |
| L15  | N 90°00'00" E | 18.59  |
| L16  | N 00°00'00" E | 6.48   |
| L17  | N 90°00'00" E | 27.56  |
| L18  | S 00°00'00" E | 6.48   |
| L19  | N 90°00'00" E | 54.35  |
| L20  | S 00°00'00" E | 41.89  |
| L21  | N 90°00'00" W | 100.50 |
| L22  | S 00°00'00" W | 45.50  |
| L23  | N 90°00'00" W | 22.67  |
| L24  | N 00°00'00" E | 1.25   |
| L25  | N 90°00'00" W | 15.50  |
| L26  | N 00°00'00" E | 5.92   |
| L27  | N 90°00'00" W | 30.00  |
| L28  | N 00°00'00" E | 30.58  |
| L29  | S 90°00'00" E | 16.48  |
| L30  | N 00°00'00" E | 7.04   |
| L31  | N 90°00'00" E | 20.59  |
| L32  | N 00°00'00" E | 0.71   |
| L33  | N 90°00'00" E | 31.10  |
| L34  | S 00°00'00" E | 7.15   |
| L35  | N 90°00'00" E | 4.00   |
| L36  | S 00°00'00" E | 27.96  |
| L37  | N 90°00'00" W | 4.00   |
| L38  | S 00°00'00" E | 6.52   |
| L39  | N 90°00'00" W | 142.12 |
| L40  | N 00°00'00" E | 25.12  |
| L41  | N 90°00'00" E | 77.62  |
| L42  | N 00°00'00" E | 16.50  |
| L43  | N 90°00'00" E | 64.50  |
| L44  | N 89°48'06" E | 44.27  |
| L45  | N 00°24'20" W | 62.10  |

- Notes:
1. An easement across Lot 1 (Common Area) in favor of Units 1-4 for utilities, access, and parking is hereby granted by the recording of this plat.
  2. The pond located within the detention pond easement on Lot 1 is not to be filled.

POINT OF BEGINNING  
NORTHEAST CORNER LOT 3, BLOCK 9  
FOUND CEDAR POST

BLOCK DETAIL  
N.T.S.



- LEGEND
- ◆ WASATCH COUNTY SECTION CORNER (AS NOTED)
  - SET REBAR W/CAP STAMPED "LEGEND ENGINEERING" (UNLESS OTHERWISE NOTED)
  - FOUND PROPERTY MONUMENT (AS NOTED)
  - FOUND STREET MONUMENT
  - - - PROPERTY BOUNDARY LINE
  - - - RIGHT-OF-WAY LINE
  - - - SECTION LINE
  - - - MONUMENT LINE
  - - - ADJACENT PROPERTY LINE
  - - - EASEMENT LINE
  - ▭ BUILDING UNIT PAD (PRIVATE OWNERSHIP)



**COUNTY SURVEYOR**  
APPROVED AS TO FORM THIS 11th DAY OF October, A.D. 2023.  
DATE: 10-17-23  
DATE: 10-26-23  
R.O.S. # 3993

**ACKNOWLEDGEMENT**  
STATE OF UTAH COUNTY OF UTAH  
ON THE 11 DAY OF October, A.D. 2023 PERSONALLY APPEARED BEFORE ME, David M Springer who being by me duly sworn did say that he is the co-owner of Atlas Holdings, a limited liability company, and that by the authority of its members or its article of organization, and he acknowledged to me that said limited liability company executed the same.  
MY COMMISSION EXPIRES: 12-24-2025 COMMISSION NUMBER 721717  
NOTARY PUBLIC [Signature] COMMISSIONED IN UTAH (SEE SEAL BELOW) RESIDING IN Wasatch COUNTY

**ACKNOWLEDGEMENT**  
STATE OF UTAH COUNTY OF UTAH  
ON THE 11 DAY OF October, A.D. 2023 PERSONALLY APPEARED BEFORE ME, Travis V Nokes who being by me duly sworn did say that he is the owner of the described property, who executed the foregoing instrument and acknowledged to me that said executed the same.  
MY COMMISSION EXPIRES: 12-24-2025 COMMISSION NUMBER 721717  
NOTARY PUBLIC [Signature] COMMISSIONED IN UTAH (SEE SEAL BELOW) RESIDING IN Wasatch COUNTY

**BOUNDARY DESCRIPTION**  
BEGINNING AT THE NORTHEAST CORNER OF LOT 3, BLOCK 9, MIDWAY SURVEY OF BUILDING LOTS, SAID POINT BEING NORTH 89°04'39" EAST 1051.08 FEET AND NORTH 2094.42 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN; THENCE NORTH 0°36'20" EAST 137.35 FEET; THENCE NORTH 89°18'37" EAST 261.64 FEET; THENCE SOUTH 162.49 FEET; THENCE WEST 151.63 FEET; THENCE SOUTH 108.24 FEET; THENCE WEST 111.45 FEET; THENCE NORTH 130.24 FEET TO THE POINT OF BEGINNING.  
CONTAINS 1 LOT AND 4 UNITS  
54,294 SQUARE FEET OR 1.246 ACRES, MORE OR LESS.

**SURVEYOR'S CERTIFICATE**  
I, DON K. ROUNDY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH HOLDING CERTIFICATE NUMBER 501180 AS PRESCRIBED BY TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE AN ACCURATE SURVEY OF THE TRACT OF LAND SHOWN AND DESCRIBED HEREON IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH STATE CODE, HAVE VERIFIED ALL MEASUREMENTS SHOWN AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND UNITS HEREAFTER TO BE KNOWN AS  
SPRINGER FARMS SUBDIVISION  
AND THAT THE SAME HAS BEEN SURVEYED AND MONUMENTS HAVE BEEN PLACED ON THE GROUND AS REPRESENTED ON THIS PLAT.

Date: October 6, 2023  
Don K. Roundy  
P.L.S. No. 501180

**OWNER'S DEDICATION**  
KNOW ALL MEN BY THESE PRESENTS THAT I / WE, THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED, HEREAFTER TO BE KNOWN AS THE  
SPRINGER FARMS SUBDIVISION  
DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND, STREETS AND EASEMENTS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND THIS 11th DAY OF October 2023.

ATLAS HOLDINGS, LLC  
TITLE Co-owner  
PRINT NAME David M Springer  
SIGNATURE [Signature]  
TRAVIS V. NOKES  
TITLE Co-owner  
PRINT NAME Travis V Nokes  
SIGNATURE [Signature]

**ACCEPTANCE BY MIDWAY CITY**  
THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL LOTS, STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC, THIS 29th DAY OF November 2023.

APPROVED [Signature] CITY ENGINEER (SEE SEAL BELOW) ATTEST: [Signature] CLERK-RECORDER (SEE SEAL BELOW)  
APPROVED [Signature] CITY ATTORNEY

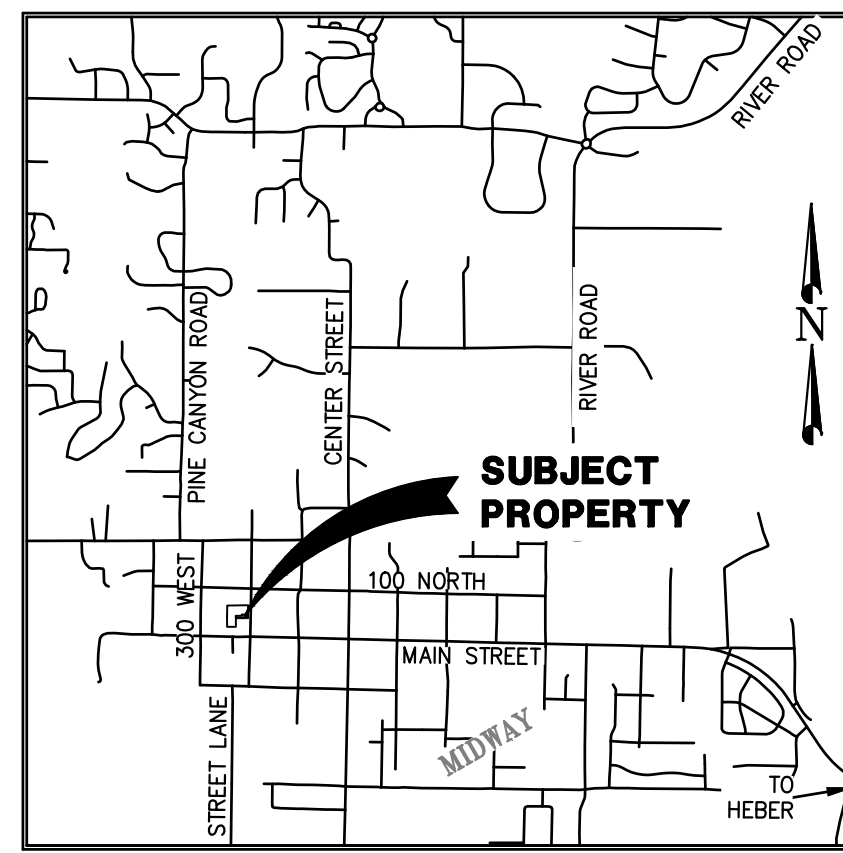
**PLANNING APPROVAL**  
APPROVED THIS 25th DAY OF October, A.D. 2023, BY THE MIDWAY CITY PLANNING COMMISSION.  
[Signature] CHAIRMAN

SURVEYOR SEAL:   
CITY ENGINEER SEAL:   
CLERK/RECORDER SEAL:

**LEGEND ENGINEERING**  
52 WEST 100 NORTH  
HEBER CITY, UT 84032  
PHONE: 435-654-4828  
www.legendengineering.com

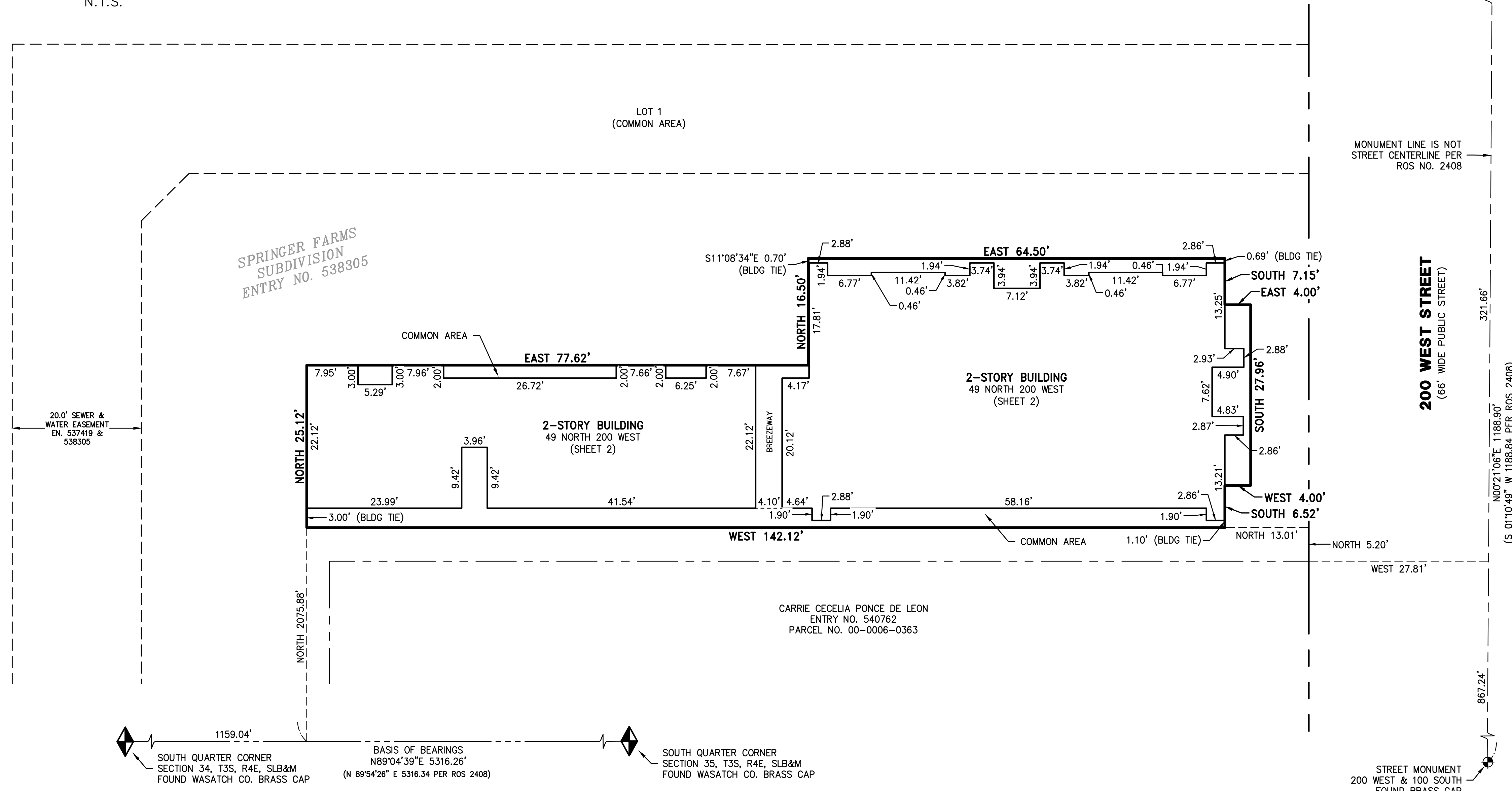
Recorder  
ENTRY # 538305 BOOK 1457 PAGE 1085  
DATE Nov 1 2023 TIME 11:22 AM FEE \$ 52.00  
FOR ATLAS HOLDING LLC TRAVIS NOKES  
BY KM WASATCH COUNTY RECORDER MARCY M MURRAY  
DATE: 6/26/23  
SCALE: 1"=40'  
PAGE: 1 OF 1  
PROJECT: S22-026





VICINITY MAP  
N.T.S.

**SPRINGER FARMS TRIPLET CONDOMINIUMS**  
 "A UTAH CONDOMINIUM PROJECT"  
 AMENDING UNIT 4, SPRINGER FARMS SUBDIVISION  
 PART OF BLOCK 9, MIDWAY SURVEY, LOCATED IN THE SOUTHEAST  
 QUARTER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 4 EAST,  
 SALT LAKE BASE AND MERIDIAN  
 MIDWAY, WASATCH COUNTY, UTAH



SPRINGER FARMS  
SUBDIVISION  
ENTRY NO. 538305

20.0' SEWER &  
WATER EASEMENT  
EN. 537419 &  
538305

SOUTH QUARTER CORNER  
SECTION 34, T3S, R4E, SLB&M  
FOUND WASATCH CO. BRASS CAP

BASIS OF BEARINGS,  
N89°04'39"E 5316.26'  
(N 89°54'26" E 5316.34 PER ROS 2408)

SOUTH QUARTER CORNER  
SECTION 35, T3S, R4E, SLB&M  
FOUND WASATCH CO. BRASS CAP

CARRIE CECELIA PONCE DE LEON  
ENTRY NO. 540762  
PARCEL NO. 00-0006-0363

STREET MONUMENT  
200 WEST & 100 NORTH  
FOUND BRASS CAP

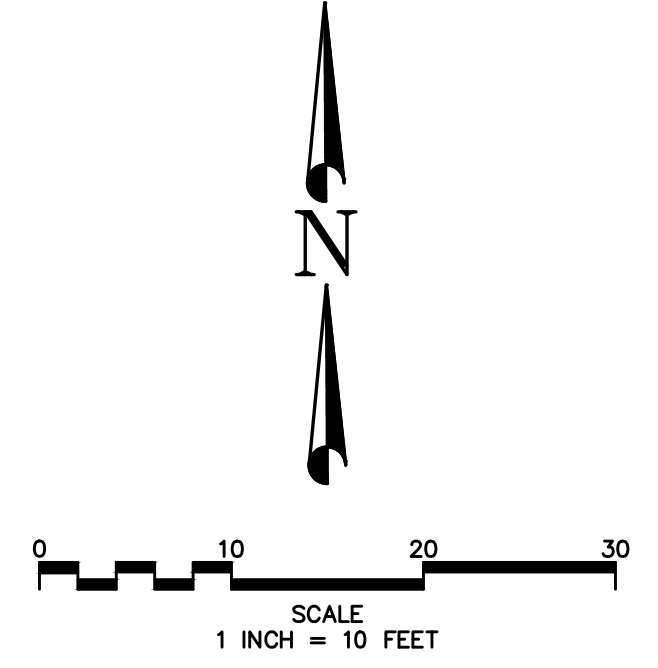
MONUMENT LINE IS NOT  
STREET CENTERLINE PER  
ROS NO. 2408

200 WEST STREET  
(66' WIDE PUBLIC STREET)

N00°21'06"E 1188.90'  
(S 01°10'49" W 1188.84 PER ROS 2408)

STREET MONUMENT  
200 WEST & 100 SOUTH  
FOUND BRASS CAP

- LEGEND**
- WASATCH COUNTY SECTION CORNER (AS NOTED)
  - FOUND STREET MONUMENT
  - PROPERTY BOUNDARY LINE
  - RIGHT-OF-WAY LINE
  - SECTION LINE
  - MONUMENT LINE
  - ADJACENT PROPERTY LINE
  - EASEMENT LINE
  - CONDOMINIUM BUILDING PAD (SEE SHEET 2)



**BOUNDARY DESCRIPTION**  
 ALL OF UNIT 4, SPRINGER FARMS SUBDIVISION, RECORDED NOVEMBER 1, 2024 AS ENTRY NO. 538305 IN BOOK 1457 AT PAGE 1085 IN THE OFFICE OF THE WASATCH COUNTY RECORDER.  
 4,747 SQUARE FEET, MORE OR LESS.  
**BASIS OF BEARINGS**  
 THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED AS NORTH 89°04'39" EAST BETWEEN THE SOUTH QUARTER CORNER OF SECTION 34 AND SECTION 35, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

**SURVEYOR'S CERTIFICATE**  
 I, DON K. ROUNDY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH HOLDING CERTIFICATE NUMBER 501180 AS PRESCRIBED BY TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE AN ACCURATE SURVEY OF THE TRACT OF LAND SHOWN AND DESCRIBED HEREON IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH STATE CODE, HAVE VERIFIED ALL MEASUREMENTS SHOWN AND HAVE SUBDIVIDED SAID PROPERTY INTO UNITS HEREAFTER TO BE KNOWN AS  
 SPRINGER FARMS TRIPLET CONDOMINIUMS  
 I FURTHER CERTIFY THAT THE REFERENCE MARKERS SHOWN ON THIS CONDOMINIUM PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO READILY RETRACE OR RE-ESTABLISH THIS SURVEY, THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE ABOVE-DESCRIBED TRACT, AND OF THE BUILDINGS LOCATED OR TO BE LOCATED ON SAID TRACT, THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE HORIZONTAL AND VERTICAL BOUNDARIES OF EACH OF THE UNITS LOCATED OR TO BE LOCATED ON SAID TRACT, AND THIS CONDOMINIUM PLAT COMPLIES WITH THE PROVISIONS OF SECTION 57-8-13(1) OF THE UTAH CONDOMINIUM OWNERSHIP ACT, UTAH CODE ANNOTATED SECTIONS 57-8-1 THROUGH 57-8-60 (2010 REPLACEMENT, SUPP. 2022).

Date: April 30, 2024  
 Don K. Roundy  
 P.L.S. No. 501180



**OWNER'S DEDICATION**  
 KNOW ALL MEN BY THESE PRESENTS THAT I, THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED, HEREAFTER TO BE KNOWN AS THE  
 SPRINGER FARMS TRIPLET CONDOMINIUMS  
 DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND, STREETS AND EASEMENTS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND THIS \_\_\_\_\_ DAY OF 2024.  
 SPRINGER FARMS LAND HOLDINGS, LLC  
 TITLE \_\_\_\_\_  
 PRINT NAME \_\_\_\_\_  
 SIGNATURE \_\_\_\_\_

**ACKNOWLEDGEMENT**  
 STATE OF UTAH  
 COUNTY OF UTAH  
 ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2024 PERSONALLY APPEARED BEFORE ME, \_\_\_\_\_, WHO BEING BY ME DULY SWORN DID SAY THAT HE IS THE \_\_\_\_\_ OF \_\_\_\_\_, A LIMITED LIABILITY COMPANY, AND THAT BY THE AUTHORITY OF ITS MEMBERS OR ITS ARTICLE OF ORGANIZATION, AND HE ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.  
 MY COMMISSION EXPIRES: \_\_\_\_\_ COMMISSION NUMBER \_\_\_\_\_  
 NOTARY PUBLIC \_\_\_\_\_ NOTARY PUBLIC \_\_\_\_\_  
 COMMISSIONED IN UTAH \_\_\_\_\_ RESIDING IN \_\_\_\_\_ COUNTY  
 (SEE SEAL BELOW)

**PLANNING APPROVAL**  
 APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2024, BY THE  
 MIDWAY CITY PLANNING COMMISSION.  
 PLANNING DIRECTOR \_\_\_\_\_ CHAIRMAN \_\_\_\_\_

|                   |                    |                     |
|-------------------|--------------------|---------------------|
| SURVEYOR SEAL<br> | CITY ENGINEER SEAL | CLERK/RECORDER SEAL |
|-------------------|--------------------|---------------------|

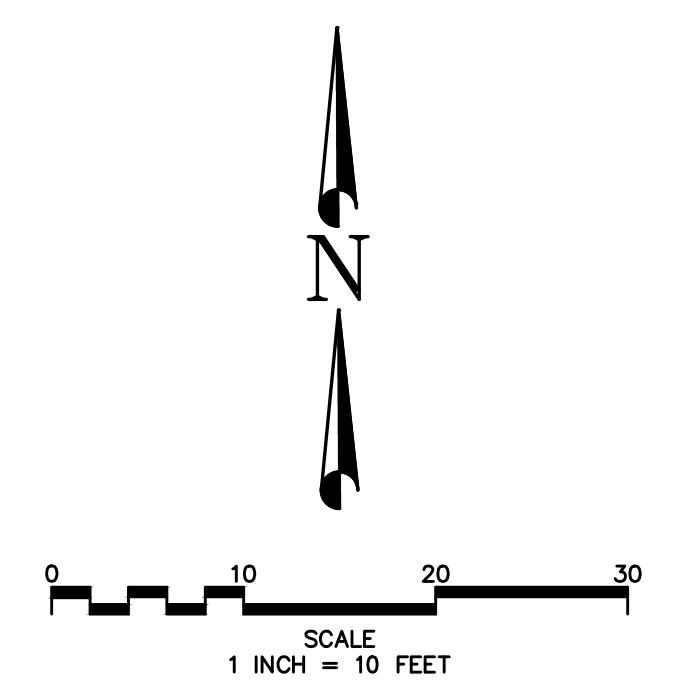
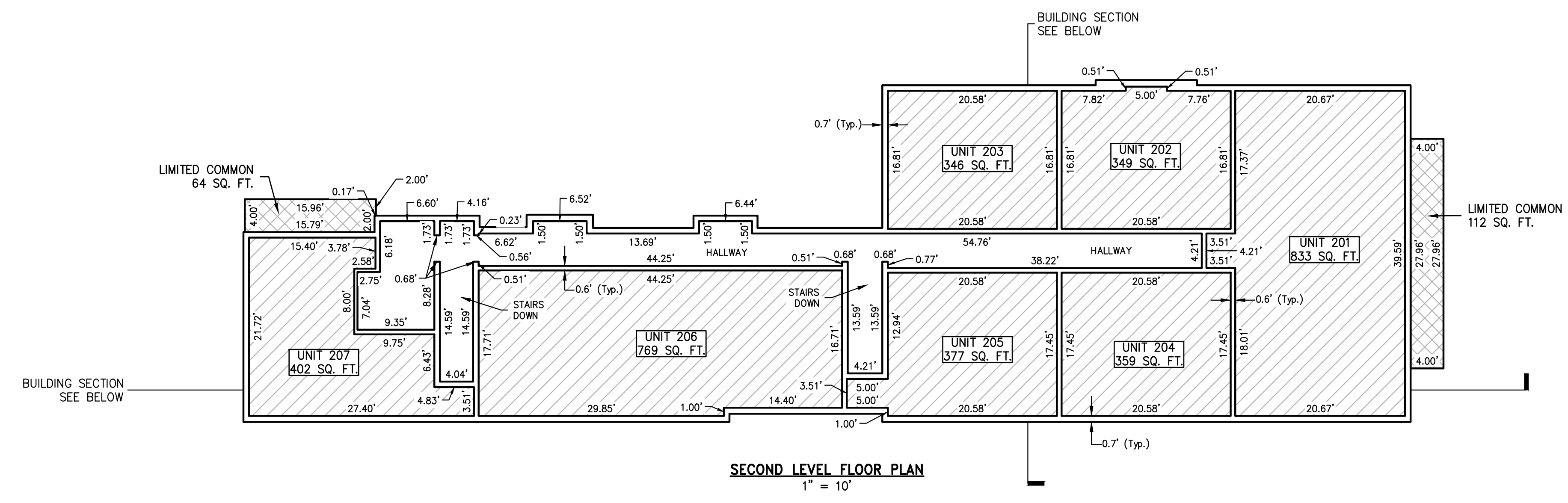
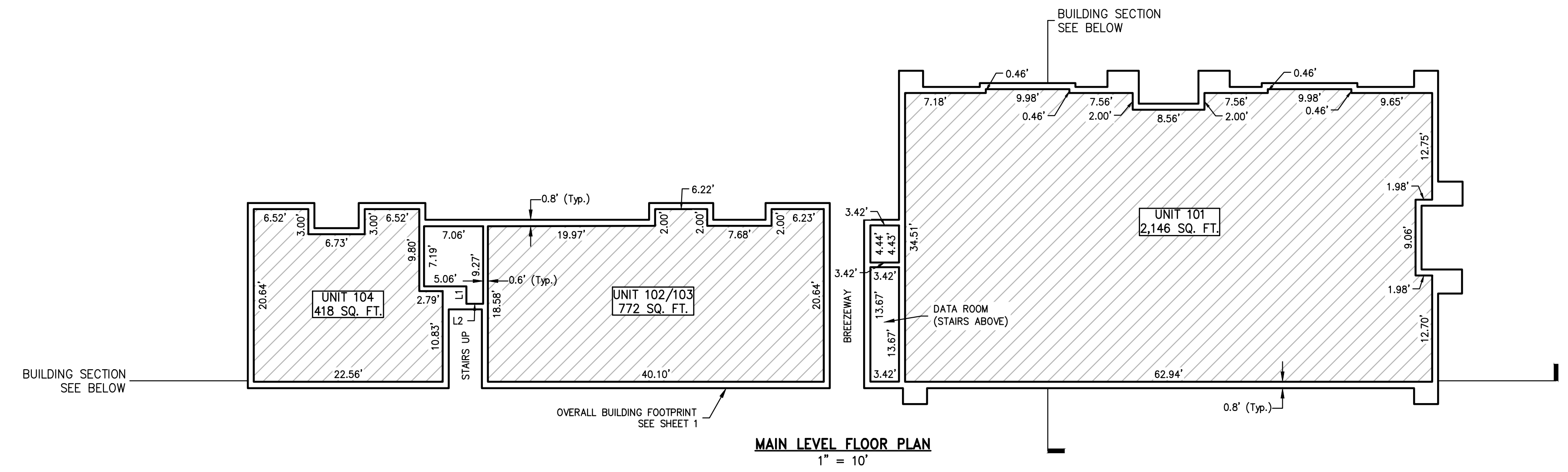
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|  | <b>LEGEND ENGINEERING</b><br>52 WEST 100 NORTH<br>HEBER CITY, UT 84032<br>PHONE: 435-654-4828<br>www.legendengineering.com |
|--|--|

**ACCEPTANCE BY MIDWAY CITY**  
 THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL LOTS, STREETS, EASEMENTS, AND OTHER PARCEL OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
 APPROVED \_\_\_\_\_ MAYOR  
 APPROVED \_\_\_\_\_ CITY ENGINEER (SEE SEAL)  
 ATTEST: \_\_\_\_\_ CLERK-RECORDER (SEE SEAL)  
 APPROVED \_\_\_\_\_ CITY ATTORNEY

**COUNTY SURVEYOR**  
 MIDWAY SANITATION DISTRICT DATE \_\_\_\_\_  
 MIDWAY IRRIGATION DISTRICT DATE \_\_\_\_\_  
 APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2024.  
 R.O.S. # 3993  
 COUNTY SURVEYOR \_\_\_\_\_

Recorder \_\_\_\_\_  
 DATE: 4/30/24  
 SCALE: 1"=10'  
 PAGE: 1 OF 2  
 PROJECT: 3709-04

**SPRINGER FARMS TRIPLET**  
 "A UTAH CONDOMINIUM PROJECT"  
 AMENDING UNIT 4, SPRINGER FARMS SUBDIVISION  
 PART OF BLOCK 9, MIDWAY SURVEY, LOCATED IN THE SOUTHEAST  
 QUARTER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 4 EAST,  
 SALT LAKE BASE AND MERIDIAN  
 MIDWAY, WASATCH COUNTY, UTAH

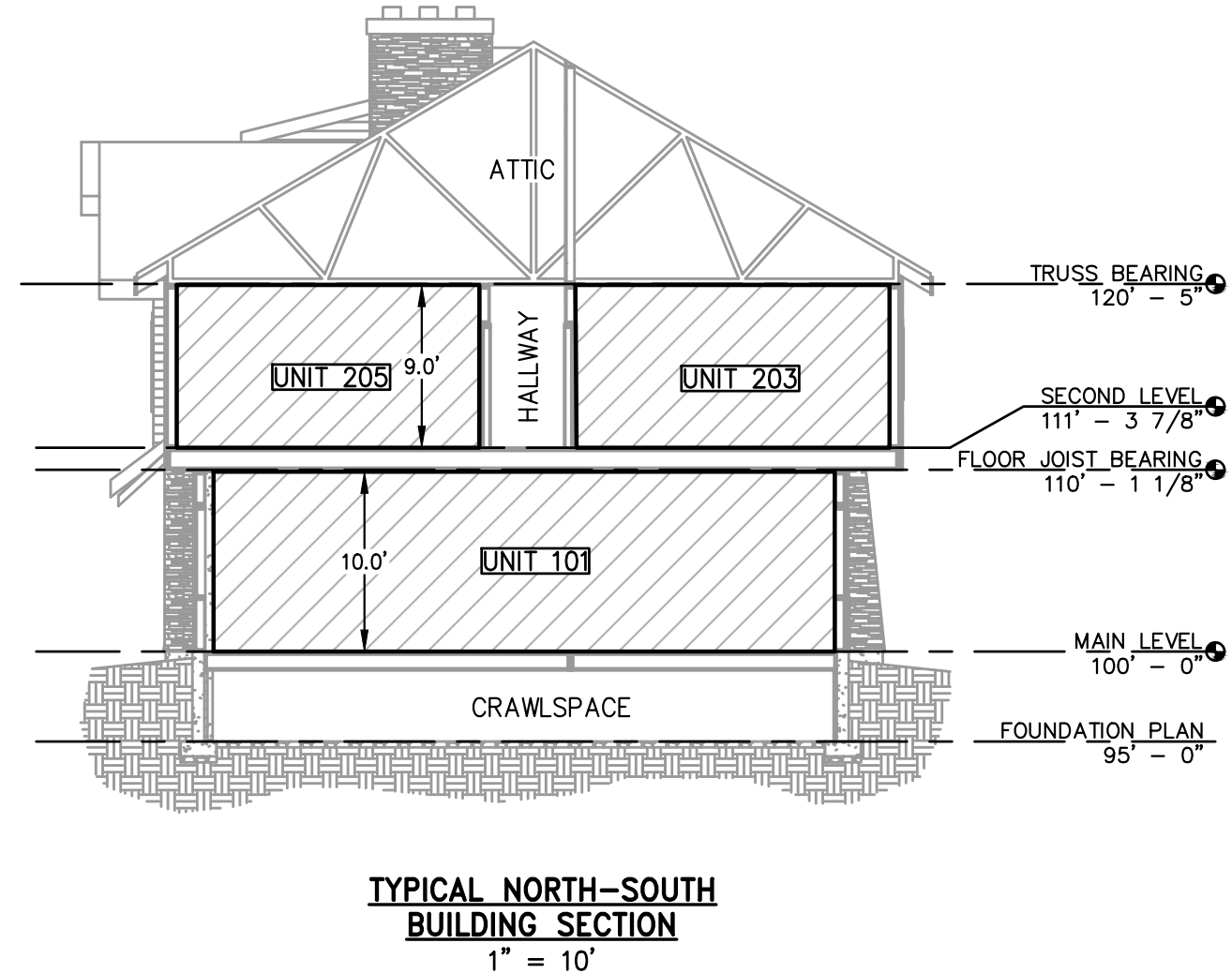
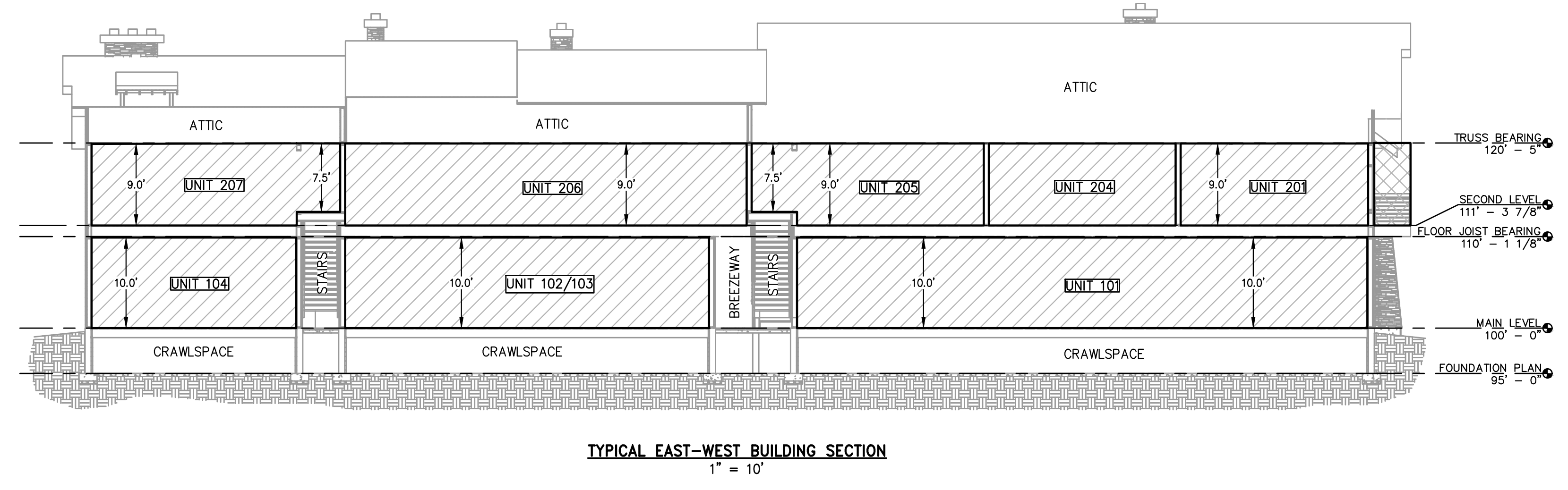


**LEGEND**

|  |                     |
|--|---------------------|
|  | PRIVATE OWNERSHIP   |
|  | COMMON AREA         |
|  | LIMITED COMMON AREA |

**Line Table**

| Line | BEARING | LENGTH |
|------|---------|--------|
| L1   | NORTH   | 2.08   |
| L2   | WEST    | 2.00   |



|  |                    |  |
|--|--------------------|--|
| SURVEYOR SEAL<br>  | CITY ENGINEER SEAL | CLERK/RECORDER SEAL  |
|  |                    |  |
| <b>LEGEND ENGINEERING</b><br>52 WEST 100 NORTH<br>HEBER CITY, UT 84032<br>PHONE: 435-654-4828<br>www.legendengineering.com |                    |  |
| Recorder   |                    | DATE: 4/30/24<br>SCALE: 1"=10'<br>PAGE: 2 OF 2<br>PROJECT: 3709-04 |



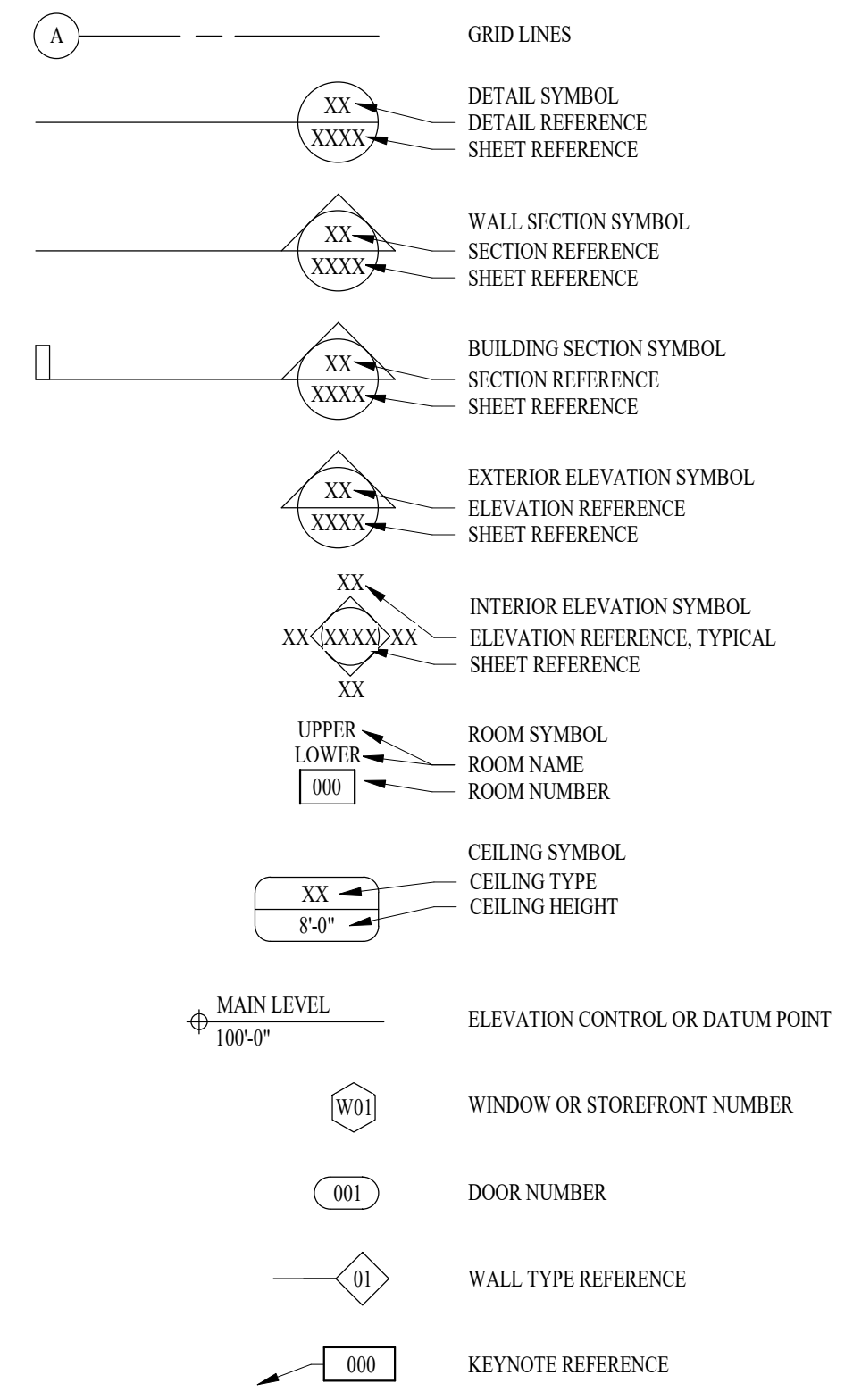
# GENERAL NOTES

# ABBREVIATIONS

- A. INTERIOR WALLS AND CEILING FINISHES IN EXIT ACCESS CORRIDORS, ROOMS AND ENCLOSED SPACES SHALL BE NOT LESS THAN A CLASS "C" RATING. SEE IBC 803.5. INTERIOR FLOOR FINISHES IN VERTICAL EXITS, EXIT PASSAGeways AND EXIT ACCESS CORRIDORS SHALL NOT BE LESS THAN A CLASS II RATING. SEE IBC 804.4.
- B. ALL CONSTRUCTION SHALL MEET THE CONSTRUCTION STANDARDS FOR A TYPE VB, SPRINKLED BUILDING IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE 2021 EDITION. CONSTRUCTION SHALL MEET THE REQUIREMENTS FOR THE CITY OF MIDWAY, STATE OF UTAH.
- C. CONTRACTOR TO MAINTAIN A COMPLETE, TOP QUALITY, "AS BUILT" DRAWINGS FOR SUBMITTAL TO ARCHITECT UPON COMPLETION OF CONSTRUCTION.
- D. WOOD AND COMBUSTIBLE MATERIALS IN CEILINGS AND CONCEALED SPACES IS TO BE CONSTRUCTED PER IBC 603.
- E. NO VINYL ASBESTOS OR OTHER HAZARDOUS MATERIALS SHALL BE INSTALLED AS PART OF THIS WORK. ALL STRICTLY REGULATED MATERIALS SHALL MEET ALL STATE AND FEDERAL REGULATIONS.
- F. ALL FURRING AND BLOCKING SHALL MEET THE REQUIREMENTS OF IBC 603.
- G. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS. EACH TRADE SHALL EXAMINE THE PREMISES PRIOR TO COMMENCING HIS WORK TO INSURE THAT CONDITIONS ARE APPROPRIATE FOR HIS WORK TO COMMENCE. AREAS NOT APPROPRIATE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. COMMENCING WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIONS.
- H. COORDINATE ALL DIMENSIONS, CONDITIONS AND DETAILS WITH STRUCTURAL, CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION DRAWINGS AND MATERIAL SUPPLIERS.
- I. ALL SECURITY DEVICES MUST BE PHYSICALLY INTEGRATED. FREESTANDING PEDESTALS OR HANGING DEVICES CONTAINING SENSOR EQUIPMENT ARE PROHIBITED.
- J. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE, HANDICAPPED-ACCESSIBILITY CODE, AND ALL APPLICABLE ORDINANCES INCLUDING STATE AND LOCAL BUILDING CODES AND REQUIREMENTS.
- K. THE CONTRACTOR SHALL CONFIRM IN WRITING, APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION ITEMS AND MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DELAYS AFFECTING OCCUPANCY.
- L. SUBSTITUTIONS, REVISIONS AND/OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE ARCHITECT AND OWNER.
- M. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL WORK INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, TELEPHONE AND LIGHTING (INCLUDING PIPING, DUCTWORK AND CONDUIT,) AND THAT ALL CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
- N. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY, OR DEFICIENT IN ANY REQUIREMENT OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE. THE OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFICIENCIES OR DEFECTS DURING CONSTRUCTION SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITIES. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- O. THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES CAUSED BY THEMSELVES OR BY THEIR SUB-CONTRACTORS.
- P. THE CONTRACTOR SHALL REVIEW, APPROVE, STAMP, AND SUBMIT TO THE ARCHITECT, WITH REASONABLE PROMPTNESS, AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK, PRODUCT DATA, SHOP DRAWINGS AND SAMPLES FOR THE PROJECT.
- Q. BY APPROVING STAMPING, AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS THAT THEY HAVE DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO AND THAT THEY HAVE CHECKED AND COORDINATED THE INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND CONTRACT DOCUMENTS.
- R. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES.
- S. THE CONTRACTOR SHALL ASSIST IN THE COORDINATION OF "N.I.C." ITEMS INCLUDING FURNITURE INSTALLATION, EQUIPMENT INSTALLATION, TELEPHONE WORK, ETC.
- T. ALL PARTITIONING AND CEILINGS SHALL BE BRACED IN COMPLIANCE WITH THE REQUIREMENTS OF ALL APPLICABLE SEISMIC AND BUILDING CODES.
- U. THE CONTRACTOR SHALL PROVIDE METAL BACKING PLATES, OR FIRE TREATED WOOD BLOCKING, AS REQUIRED IN WALLS BEHIND ALL WALL MOUNTED ITEMS OF CASEWORK, ACCESSORIES, ETC.
- V. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL FIELD DIMENSIONS INDICATED BY "VERIFY" IN THE CONTRACT DOCUMENTS AND SHALL REVIEW ANY DISCREPANCIES WITH THE ARCHITECT BEFORE PROCEEDING.
- W. ALL CLEAR (CLR.) DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECTS APPROVAL.
- X. PRIOR TO CONSTRUCTION, DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS, ENGINEERING DRAWINGS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- Y. DIMENSIONS TAKE PRECEDENCE OVER SCALE OF THE DRAWING. DRAWINGS SHOULD NOT BE SCALED WITHOUT APPROVAL OF ARCHITECT.
- Z. ALL TOILET ROOMS AND ELEVATIONS SHALL BE IN COMPLIANCE WITH CURRENT APPLICABLE CODES AS PER THESE DRAWINGS.
- AA. ALL DRAWINGS, NOTES, AND SPECIFICATIONS ARE CONSIDERED COMPLIMENTARY AND WHAT IS CALLED FOR BY ONE WILL BE BINDING TO ALL. ANY WORK SHOWN, OR REFERRED TO, IS BINDING TO ALL.
- BB. ARCHITECT SHALL NOT BE LIABLE FOR WORK, REGARDING THE IDENTIFICATION, REPAIR, REMOVAL OR ENCAPSULATION OF ASBESTOS OR OTHER HAZARDOUS MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IF ANY MATERIALS ENCOUNTERED REQUIRING TESTING OR ABATEMENT. ALL ASBESTOS IDENTIFICATION AND REMOVAL IS TO BE COMPLETED UNDER SEPARATE CONTRACT AND PRIOR TO COMMENCEMENT OF DEMOLITION AND/OR REMODELING WORK DESCRIBED IN OUR DOCUMENTS.

|   |                             |
|---|-----------------------------|
| AB ANCHOR BOLT                                | ID INSIDE DIAMETER          |
| ABV ABOVE                                     | IF INSIDE FACE              |
| ADJ ADJUSTABLE                                | IN INCHES                   |
| AFF ABOVE FINISH FLOOR                        | INFO INFORMATION            |
| AIA AMERICAN INSTITUTE OF ARCHITECTS          | INSUL INSULATION            |
| ALUM ALUMINUM                                 | LAV LAVATORY                |
| ARCH ARCHITECTURAL                            | LI LIGHT                    |
| ASTM AMERICAN SOCIETY FOR TESTING MATERIALS   | LT WT LIGHT WEIGHT          |
| DBA DEFORMED BAR ANCHOR                       | MAINT MAINTENANCE           |
| BD BOARD                                      | MAX MAXIMUM                 |
| BITUM BITUMINOUS                              | MAT MATERIAL                |
| BLDG BUILDING                                 | MCJ MASONRY CONTROL JOINT   |
| BM BENCHMARK                                  | MECH MECHANICAL             |
| BO BOTTOM OF                                  | MFR MANUFACTURER            |
| BP BASE PLATE                                 | MIN MINIMUM                 |
| BRG BEARING                                   | MISC MISCELLANEOUS          |
| BTWN BETWEEN                                  | MO MASONRY OPENING          |
| CER CERAMIC                                   | MTL METAL                   |
| CJ CONTROL / CONSTRUCTION JOINT               | NIC NOT IN CONTRACT         |
| CLG CEILING                                   | NO NUMBER                   |
| CLR CLEAR                                     | NTS NOT TO SCALE            |
| CMU CONCRETE MASONRY UNIT                     | OC ON CENTER                |
| CONC CONCRETE                                 | OD OUTSIDE DIAMETER         |
| CONT CONTINUOUS                               | OF OUTSIDE FACE             |
| CONST CONSTRUCTION                            | OH OVERHEAD                 |
| COORD COORDINATE                              | OPP OPPOSITE                |
| CP CAP PLATE                                  | PART PARTITION              |
| CJ CONSTRUCTION JOINT                         | PSF POUNDS PER CUBIC FOOT   |
| DBL DOUBLE                                    | PERP PERPENDICULAR          |
| DEPT DEPARTMENT                               | PL PLATE                    |
| DET DETAIL                                    | PLF POUNDS PER LINEAL FOOT  |
| DWGS DRAWINGS                                 | PNTD PAINTED                |
| EA EACH                                       | PROT PROTECTION             |
| EJ EXPANSION JOINT                            | PSF POUNDS PER SQUARE FOOT  |
| ELEV ELEVATION                                | PSI POUNDS PER SQUARE INCH  |
| EQ EQUAL                                      | QTY QUANTITY                |
| EW EACH WAY                                   | RD ROOF DRAIN               |
| EXIST EXISTING                                | RAD RADIUS                  |
| EXPN EXPANSION                                | REINF REINFORCED            |
| EXT EXTERIOR                                  | RFD REQUIRED                |
| EWG ELECTRIC WATER COOLER                     | RM ROOM                     |
| FD FLOOR DRAIN                                | RO ROUGH OPENING            |
| FDTN FOUNDATION                               | SCHED SCHEDULE              |
| FE FIRE EXTINGUISHER                          | SDI STEEL DECK INSTITUTE    |
| FEC FIRE EXTINGUISHER CABINET                 | SHR SHOWER                  |
| FF FINISH FLOOR                               | SHT SHEET                   |
| FLR FLOOR                                     | SM SIMILAR                  |
| FT FEET / FOOT                                | SPEC SPECIFICATION          |
| FTG FOOTING                                   | STC SOUND TRANSMISSION      |
| GA GAGE / GAUGE                               | COEFFICIENT                 |
| GAL GALLON                                    | STD STANDARD                |
| GALV GALVANIZED                               | STIFF STIFFENER             |
| GFCI GROUND FAULT CIRCUIT INTERRUPTOR         | STRUCT STRUCTURAL           |
| GPM GALLONS PER MINUTE                        | SUSP SUSPENDED              |
| GND GROUND                                    | TBC TOP BACK OF CURB        |
| GOVT GOVERNMENT                               | THRU THROUGH                |
| GYP GYPSUM                                    | TO TOP OF                   |
| HC HANDICAPPED                                | TOA TOP OF ASPHALT          |
| HDW HARDWARE                                  | TOP TOP OF FOOTING          |
| HM HOLLOW METAL                               | TOS TOP OF SLAB OR SIDEWALK |
| HORIZ HORIZONTAL                              | TOW TOP OF WALL             |
| HR HOUR                                       | TYP TYPICAL                 |
| HT HEIGHT                                     | UNO UNLESS NOTED OTHERWISE  |
| HVAC HEATING / VENTILATION / AIR CONDITIONING | VCT VINYL COMPOSITION TILE  |
| HYD HYDRANT                                   | VERT VERTICAL               |
|   | VEST VESTIBULE              |
|   | WD WOOD                     |
|   | WWF WELDED WIRE FABRIC      |

# SYMBOL LEGEND



# SPRINGER TRIPLET

49 NORTH 200 WEST  
MIDWAY, UTAH 84049

## PROJECT IMAGE



## CODE INFORMATION

**CODE:**  
 2021 INTERNATIONAL BUILDING CODE  
 2020 NATIONAL ELECTRICAL CODE  
 2021 INTERNATIONAL PLUMBING CODE  
 2021 INTERNATIONAL MECHANICAL CODE  
 2021 NATIONAL FIRE CODE  
 2021 INTERNATIONAL ENERGY CONSERVATION CODE  
 ICC/ANSI A117.1-2017 ACCESSIBILITY CODE

**JURISDICTION:**  
 MIDWAY, UTAH

**GENERAL:**  
 TYPE OF CONSTRUCTION: VB  
 OCCUPANCY CLASSIFICATION: M (MAIN LEVEL) & R-1 (SECOND LEVEL)  
 SEPARATION: NON-SEPARATED  
 FIRE SPRINKLERS: YES, NPA 13  
 BUILDING ELEMENT FIRE RATING: 1-HOUR SOUTH EXTERIOR WALL PER IBC TABLE 601 & 705.3  
 RESIDENTIAL FIRE SEPARATION: SEE SHEET A100 & A100a  
 GROSS BUILDING AREA: 8,600 S.F.  
 MAIN LEVEL: 3,922 S.F.  
 SECOND LEVEL: 4,678 S.F. (INCLUDING BALCONIES)  
 NUMBER OF STORIES/ HEIGHT: 2 STORY / 33'-11"  
 REQUIRED MEANS OF EGRESS: 2 EXIT REQUIRED AS PER TABLE 1006.2.1  
 COMMON PATH OF EGRESS: 75' AS PER IBC TABLE 1006.2.1  
 EXIT ACCESS TRAVEL DISTANCE: 250' AS PER IBC TABLE 1017.2  
 OCCUPANT LOAD: 89 (SEE OCCUPANCY SCHEDULE ON A100)  
 MAIN LEVEL: 65 OCCUPANTS  
 SECOND LEVEL: 25 OCCUPANTS

**ALLOWABLE BUILDING HEIGHT & AREA (IBC CHAPTER 5):**  
 BASIC ALLOWABLE HEIGHT: 60'-0" (M-R-1)  
 BASIC ALLOWABLE STORIES: 2-STORY (M)  
 BASIC ALLOWABLE AREA FACTOR: 21,000 S.F. (R-1, SM)

**PLUMBING FIXTURE ANALYSIS (IBC CHAPTER 29):**  
 BUILDING WATER CLOSETS REQUIRED: 1/500 = 1 (2 PROVIDED)  
 BUILDING LAVATORIES REQUIRED: 1/750 = 1 (2 PROVIDED)  
 BUILDING SERVICE SINKS REQUIRED: 1 (1 PROVIDED)  
 BUILDING DRINKING FOUNTAINS REQUIRED: 0 (PER IBC SECTION 2902.6)

**ENERGY CODE VALUES - PRESCRIPTIVE VALUES PER IECC TABLE C402.1.4 (ZONE 6)**  
 ROOFS - ATTIC & OTHER: R-49  
 WALLS, ABOVE GRADE - WOOD FRAMED: R-20 BATT + R3.8 CONTINUOUS  
 (BELOW-GRADE WALL (CRAWL SPACE): R-10 CONTINUOUS )  
 FLOORS - JOIST FRAMING: R-38  
 SLAB-ON-GRADE FLOORS - UNHEATED SLABS: R-20 FOR 24" BELOW  
 OPAQUE DOORS, SWINGING: 0.37 U-VALUE  
 VERTICAL, FIXED FENESTRATION (PF=0.5): 0.34 U-VALUE + SHGC = 0.61  
 VERTICAL, OPERABLE FENESTRATION (PF=0.5): 0.42 U-VALUE + SHGC = 0.54  
 VERTICAL, ENTRANCE DOORS (PF=0.5): 0.63 U-VALUE + SHGC = 0.54

# INDEX OF DRAWINGS

| SHT. NO. | SHEET TITLE                          |
|----------|--------------------------------------|
| GENERAL  |                                      |
| G001     | COVER SHEET & GENERAL NOTES          |
| CIVIL    |                                      |
| C-0      | CIVIL COVER SHEET                    |
| C-1      | SITE PLAN                            |
| C-2      | GRADING PLAN                         |
| C-3      | OVERALL UTILITY PLAN                 |
| C-3.1    | STA 0+00 - 4+00                      |
| C-3.2    | STA 4+00 - 7+30                      |
| C-4      | DETAILS                              |
| C-4.1    | HYDROLOGY DETAILS                    |
| C-4.2    | STORMTECH DETAILS                    |
| C-4.3    | UTILITY DETAILS                      |
| C-4.4    | UTILITY DETAILS                      |
| C-5      | STORMWATER POLLUTION PREVENTION PLAN |
| C-6      | SWPPP DETAILS                        |

## ARCHITECTURAL

|       |  |
|-------|--|
| A100  | EXITING & OCCUPANCY PLANS                            |
| A100a | SEPARATIONS LISTING INFO                             |
| A101  | MAIN LEVEL FLOOR PLAN                                |
| A102  | SECOND LEVEL FLOOR PLAN                              |
| A102a | ENLARGED SECOND LEVEL FLOOR PLAN - AREA A            |
| A102b | ENLARGED SECOND LEVEL FLOOR PLAN - AREA B            |
| A105  | ROOF PLAN  |
| A111  | REFLECTED CEILING PLAN                               |
| A112  | REFLECTED CEILING PLAN                               |
| A131  | FOOTING AND FOUNDATION PLAN                          |
| A201  | EXTERIOR ELEVATIONS                                  |
| A202  | EXTERIOR ELEVATIONS                                  |
| A301  | BUILDING SECTIONS                                    |
| A302  | BUILDING SECTIONS                                    |
| A401  | ENLARGED PLAN, INTERIOR ELEVATIONS & FINISH SCHEDULE |
| A405  | ENLARGED STAIR PLANS & SECTIONS                      |
| A501  | ARCHITECTURAL DETAILS                                |
| A502  | ARCHITECTURAL DETAILS                                |
| A601  | WALL TYPES, DOOR & WINDOW SCHEDULES                  |

## STRUCTURAL

|       |                                       |
|-------|---------------------------------------|
| S1    | FOOTING / FOUNDATION PLAN             |
| S2    | LOWER FLOOR FRAMING PLAN              |
| S3    | UPPER FLOOR / LOWER ROOF FRAMING PLAN |
| S4    | ROOF FRAMING PLAN                     |
| SD1   | DETAILS & NOTES                       |
| SD2   | DETAILS & NOTES                       |
| SD3   | DETAILS & NOTES                       |
| WSWH1 | STRONG-WALL WSWH                      |
| WSWH2 | STRONG-WALL WSWH                      |

## MECHANICAL / PLUMBING

|      |                                   |
|------|-----------------------------------|
| M000 | MECHANICAL & PLUMBING TITLE SHEET |
| M101 | LEVEL 1 MECHANICAL PLAN           |
| M102 | LEVEL 2 MECHANICAL PLAN           |
| M501 | MECHANICAL DETAILS                |
| M701 | MECHANICAL SCHEDULES              |
| P101 | LEVEL 1 PLUMBING PLANS            |
| P102 | LEVEL 2 PLUMBING PLAN             |
| P501 | PLUMBING DETAILS                  |
| P701 | PLUMBING SCHEDULES                |

## ELECTRICAL

|      |                            |
|------|----------------------------|
| E000 | ELECTRICAL GENERAL SHEET   |
| E001 | ELECTRICAL SITE PLAN       |
| E101 | MAIN LEVEL LIGHTING PLAN   |
| E102 | SECOND LEVEL LIGHTING PLAN |
| E201 | MAIN LEVEL POWER PLAN      |
| E202 | SECOND LEVEL POWER PLAN    |
| E501 | ELECTRICAL DETAILS         |
| E601 | ELECTRICAL SCHEDULES       |
| E602 | ELECTRICAL SCHEDULES       |
| E603 | ELECTRICAL SCHEDULES       |

# DEFERRED SUBMITTALS

- SIGNAGE (SEPARATE PERMIT)
- FIRE SPRINKLER SYSTEM.
- FIRE ALARM SYSTEM.
- PREMANUFACTURED ROOF TRUSSES.

## OWNER

DAVID SPRINGER / TRAVIS NOKES

1041 LIME CANYON WAY  
MIDWAY, UTAH 84049

M: 801.725.9900  
 CONTACT: TRAVIS NOKES  
 EMAIL: travis@blackoakutah.com

## ARCHITECT

ORDER ARCHITECTURE

4478 W DORENA LN  
SOUTH JORDAN, UT 84009  
 B: 801.597.7641  
 M: 801.597.7641

CONTACT: PAUL NIELSEN  
 EMAIL: paul@order-arch.com  
 CIVIL ENGINEER

LEGEND ENGINEERING

52 WEST 100 NORTH  
HEBER CITY, UT 84032  
 B: 435.654.4828

M:  
 CONTACT: CAL JOHNSON  
 EMAIL: cal@legendengineering.com

## STRUCTURAL ENGINEER

YORK ENGINEERING

4883 OLD HIGHWAY ROAD  
MORGAN, UTAH 84050  
 B: 801.876.3501

M:  
 CONTACT: MIKE DENT  
 EMAIL: mike@yorkengr.com

## ELECTRICAL ENGINEER

ROCKY MOUNTAIN  
CONSULTING ENGINEERS, INC.

2332 W. 12600 S. SUITE F  
RIVERTON, UTAH 84065

B: 801.566.0503  
 M: 385.228.5551

CONTACT: DUSTIN HUGHES  
 EMAIL: dustin@rmceut.com  
 MECHANICAL ENGINEER

JTB HVAC & PLUMBING ENGINEERING

922 W BAXTER DRIVE, SUITE 100  
SOUTH JORDAN, UTAH 84095

B: 801.849.8590  
 M: 801.707.5011  
 CONTACT: JEFF BROWN  
 EMAIL: Jeff.Brown@JTBEengineering.net

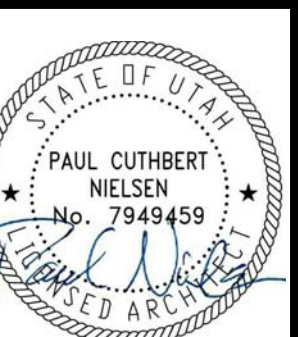
| MARK | ISSUE DESCRIPTION | ISS. DATE  | REV. DATE |
|------|-------------------|------------|-----------|
| 2    | STUDIO CHANGE     |            | 10/20/23  |
| 01   | PERMIT SET        | 10/12/2023 |           |



ORDER  
ARCHITECTURE

T 801.597.7641  
 4478 W DORENA LN  
SOUTH JORDAN, UT 84009  
 paul@order-arch.com  
 www.order-arch.com

SPRINGER TRIPLET  
 49 NORTH 200 WEST  
 MIDWAY, UTAH 84049



PROJECT NUMBER  
1472301

COVER SHEET &  
GENERAL NOTES

DRAWING NUMBER

G001



1 2 3 4 5 6

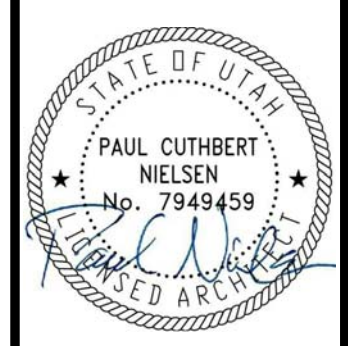
**EXTERIOR ELEVATION GENERAL NOTES:**

- A. SEE SHEET A601 FOR DOOR AND WINDOW SCHEDULES.
- B. SAND PLASTER EXPOSED SURFACES OF FOUNDATION WALL.
- C. DOWNSPOUT LOCATIONS TO BE AS UNOBTRUSIVE AS POSSIBLE AND TO BE RUN UNDERGROUND - COORDINATE WITH CIVIL DRAWINGS.
- D. CHIMNEY HEIGHT TO BE 36" TALLER THAN ADJOINING ROOF AND 24" HIGHER THAN ANY ROOF WITH IN 10' HORIZONTAL.
- E. COORDINATE / VERIFY ALL FINISHES WITH OWNER.

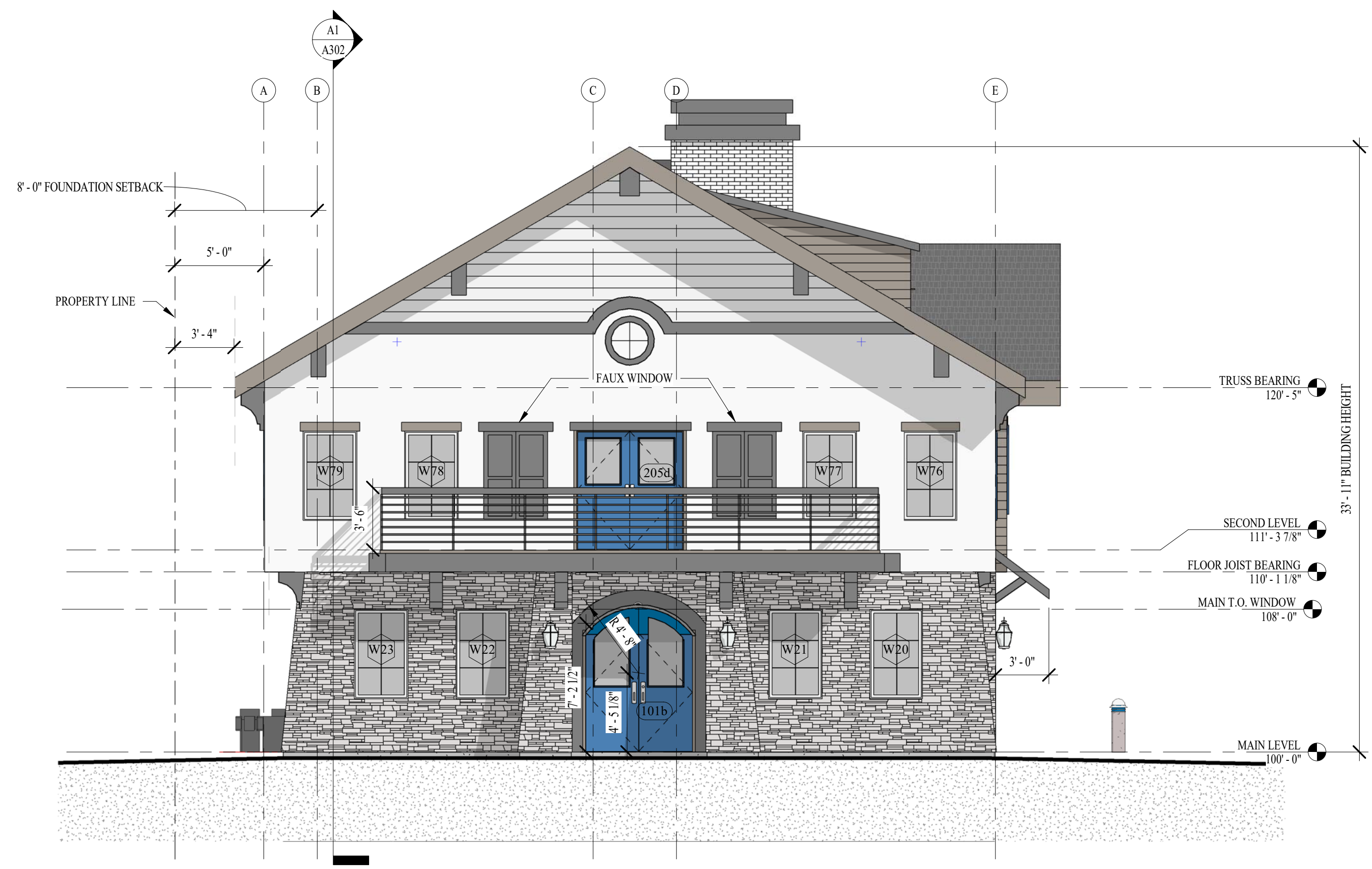
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**SPRINGER TRIPLET**  
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 MIDWAY, UTAH 84049



|                               |
|-------------------------------|
| PROJECT NUMBER<br>147.2301    |
| EXTERIOR ELEVATIONS           |
| DRAWING NUMBER<br><b>A201</b> |



C1 WEST ELEVATION  
A201 3/16" = 1'-0"



A1 SOUTH ELEVATION  
A201 3/16" = 1'-0"

1 2 3 4 5 6

D

D

C

C

B

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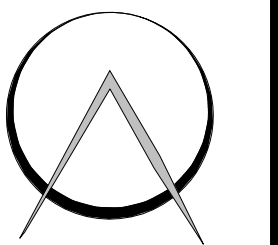


1 2 3 4 5 6

**EXTERIOR ELEVATION GENERAL NOTES:**

- A. SEE SHEET A601 FOR DOOR AND WINDOW SCHEDULES.
- B. SAND PLASTER EXPOSED SURFACES OF FOUNDATION WALL.
- C. DOWNSPOUT LOCATIONS TO BE AS UNOBTRUSIVE AS POSSIBLE AND TO BE RUN UNDERGROUND - COORDINATE WITH CIVIL DRAWINGS.
- D. CHIMNEY HEIGHT TO BE 36" TALLER THAN ADJOINING ROOF AND 24" HIGHER THAN ANY ROOF WITH IN 10' HORIZONTAL.
- E. COORDINATE / VERIFY ALL FINISHES WITH OWNER.

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PROJECT NUMBER  
147.2301

EXTERIOR  
ELEVATIONS

DRAWING NUMBER

**A202**



1 2 3 4 5 6

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EGRESS & OCCUPANCY LEGEND:

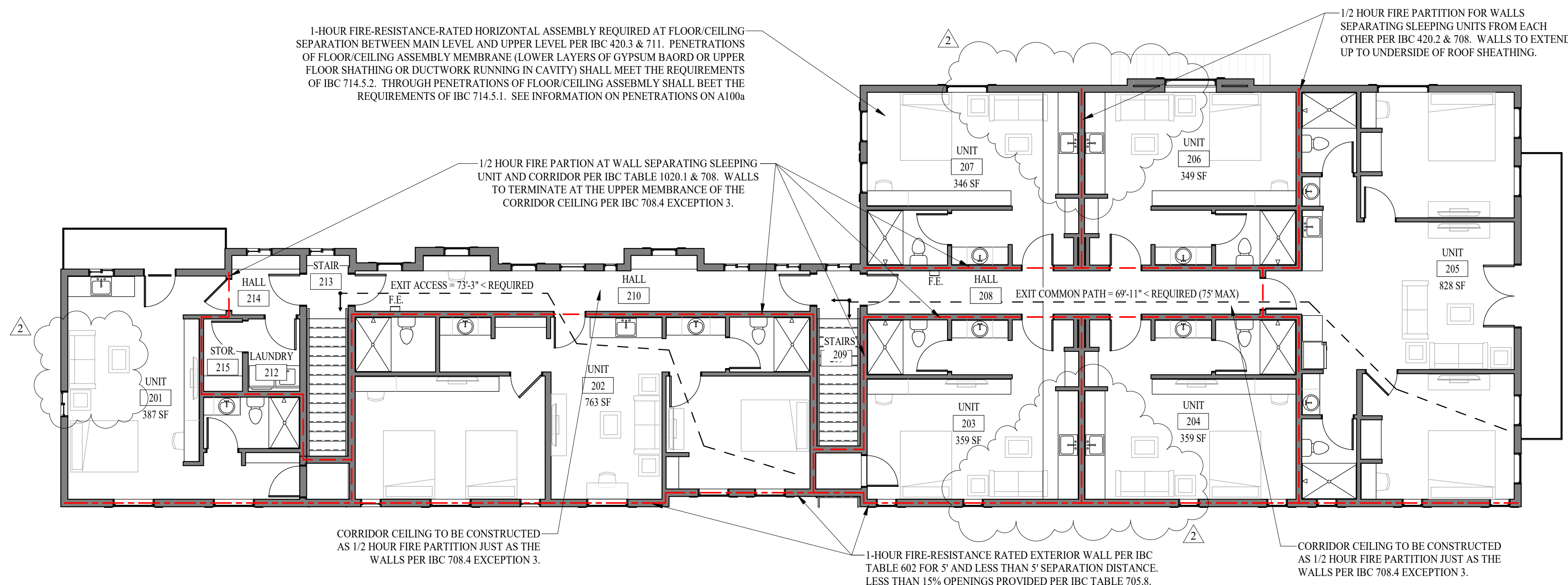
- EXIT 169 OCC → EXIT DISCHARGE AND LOAD FACTOR
- F.E. FIRE EXTINGUISHER (SURFACE-MOUNT). PROVIDE 2A:10BC RATED FIRE EXTINGUISHER.
- LINE INDICATES TRAVEL DISTANCE TO FIRE EXTINGUISHERS
- - - LINE INDICATES EXIT ACCESS (<250') / COMMON PATH OF EGRESS TRAVEL (<75')
- 1/2 HOUR FIRE RATED PARTITION
- 1 HOUR FIRE RATED PARTITION

WHERE FIRE PARTITIONS DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING THE SPACE ABOVE AND ALONG THE LINE OF THE FIRE PARTITION SHALL BE PROVIDED WITH ONE OF THE FOLLOWING:

1. FIREBLOCKING UP TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE USING MATERIALS COMPLYING WITH SECTION 718.2.1.
2. DRAFTSTOPPING UP TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE USING MATERIALS COMPLYING WITH SECTION 718.3.1 FOR FLOORS OR SECTION 718.4.1 FOR ATTICS.

EXCEPTION: WHERE CORRIDOR WALLS PROVIDE A SLEEPING UNIT OR DWELLING UNIT SEPARATION, DRAFTSTOPPING SHALL ONLY BE REQUIRED ABOVE ONE OF THE CORRIDOR WALLS.

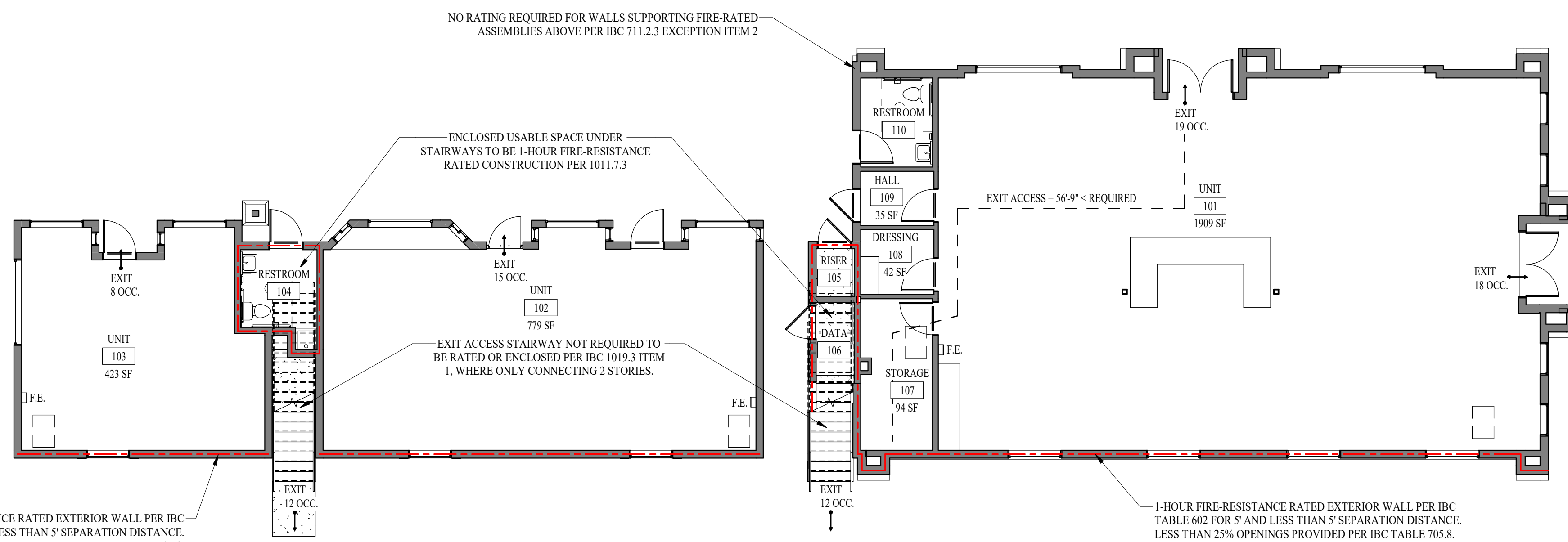
PROVIDE OPENINGS IN FIREBLOCKING/DRAFTSTOPPING TO ALLOW ACCESS INTO ALL ATTIC SPACES. OPENING SHALL BE PROTECTED BY SELF-CLOSING 20 MINUTE RATED DOORS WITH AUTOMATIC LATCHES.



A100 SECOND LEVEL EXITING PLAN 1/8" = 1'-0"

OCCUPANCY LOAD SCHEDULE

| SPACE               | OCCUPANCY  | AREA    | LOAD FACTOR | OCCUPANTS |
|---------------------|------------|---------|-------------|-----------|
| <b>MAIN LEVEL</b>   |            |         |             |           |
| 101 UNIT            | MERCANTILE | 2069 SF | 60          | 35        |
| 102 UNIT            | MERCANTILE | 880 SF  | 60          | 15        |
| 103 UNIT            | MERCANTILE | 479 SF  | 60          | 8         |
| 104 RESTROOM        | MERCANTILE | 71 SF   | 60          | 2         |
| 107 STORAGE         | STORAGE    | 118 SF  | 300         | 1         |
| 110 RESTROOM        | MERCANTILE | 77 SF   | 60          | 2         |
| DRESSING            |            | 47 SF   |             |           |
| EQUIPMENT           | EQUIPMENT  | 44 SF   | 300         | 1         |
| HALL                |            | 42 SF   |             |           |
|                     |            | 3827 SF |             | 64        |
| <b>SECOND LEVEL</b> |            |         |             |           |
| RESIDENTIAL         |            | 4671 SF | 200         | 24        |
|                     |            | 4671 SF |             | 24        |
| TOTAL OCCUPANTS     |            | 8498 SF |             | 88        |



A100 MAIN LEVEL EXITING FLOOR PLAN 1/8" = 1'-0"

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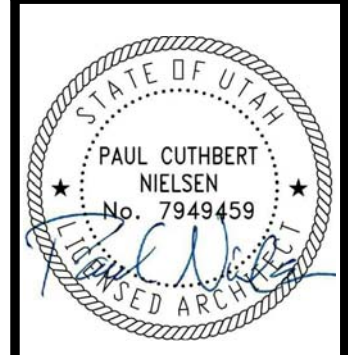
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PROJECT NUMBER 1472301

EXITING & OCCUPANCY PLANS

DRAWING NUMBER

**A100**



1 2 3 4 5 6

**KEYNOTE LEGEND**

- 105 DRESSING ROOM BENCH SHOWN TO ALLOW ADA CLEAR TOE CLEARANCE PER DIMENSION SHOWN FROM 0" TO 9" ABOVE FLOOR.
- 506 STEEL COLUMN - SEE STRUCTURAL.
- 1001 SURFACE MOUNT FIRE EXTINGUISHER
- 2202 JANITOR SINK, SEE PLUMBING DRAWINGS
- 2302 MECHANICAL EQUIPMENT, SEE MECHANICAL
- 2303 MECHANICAL FLOOR GRILLE - SEE MECHANICAL DRAWINGS.
- 2602 ELECTRICAL EQUIPMENT, SEE ELECTRICAL

**FLOOR PLAN GENERAL NOTES:**

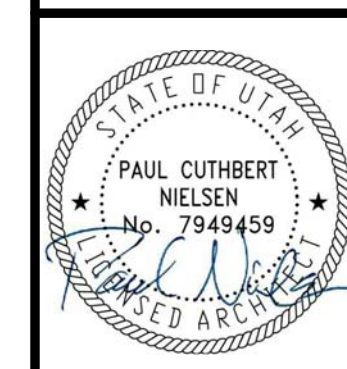
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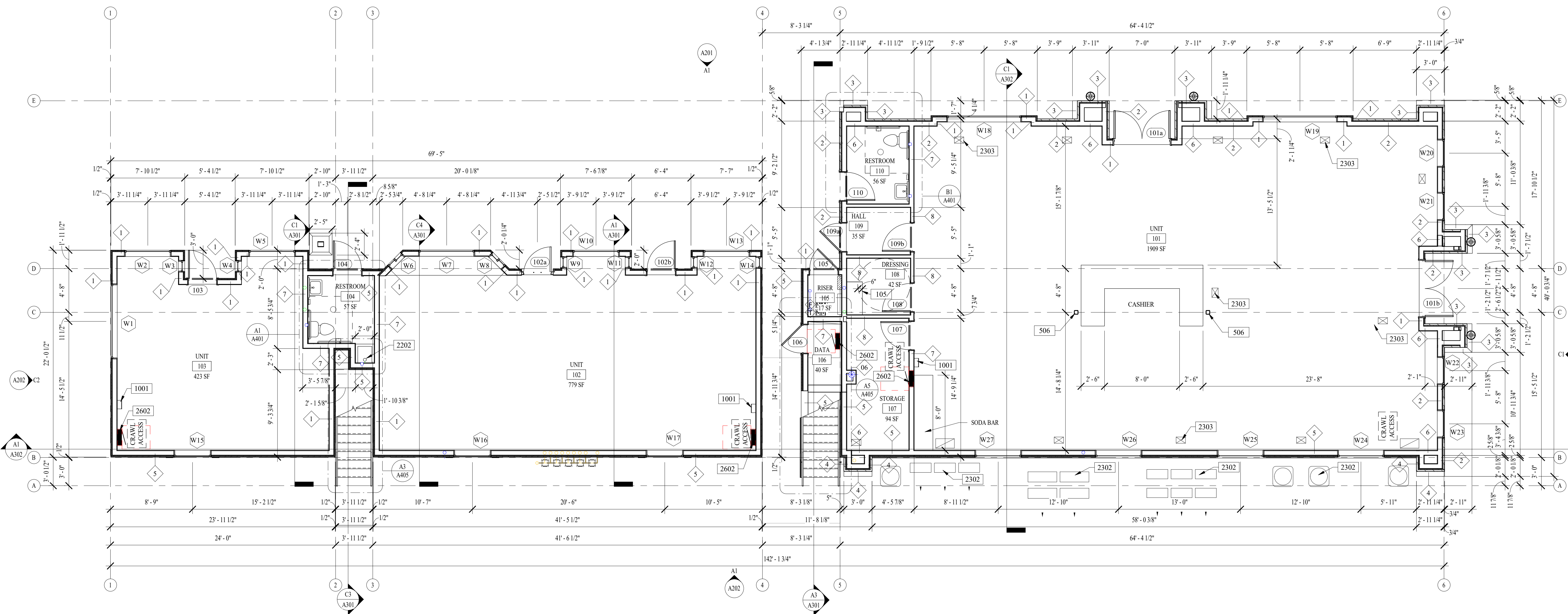


PROJECT NUMBER  
1472301

MAIN LEVEL FLOOR PLAN

DRAWING NUMBER

**A101**



**MAIN LEVEL FLOOR PLAN**  
3/16" = 1'-0"

1 2 3 4 5 6



1 2 3 4 5 6

FLOOR PLAN GENERAL NOTES:

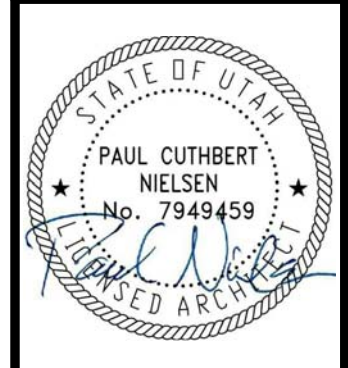
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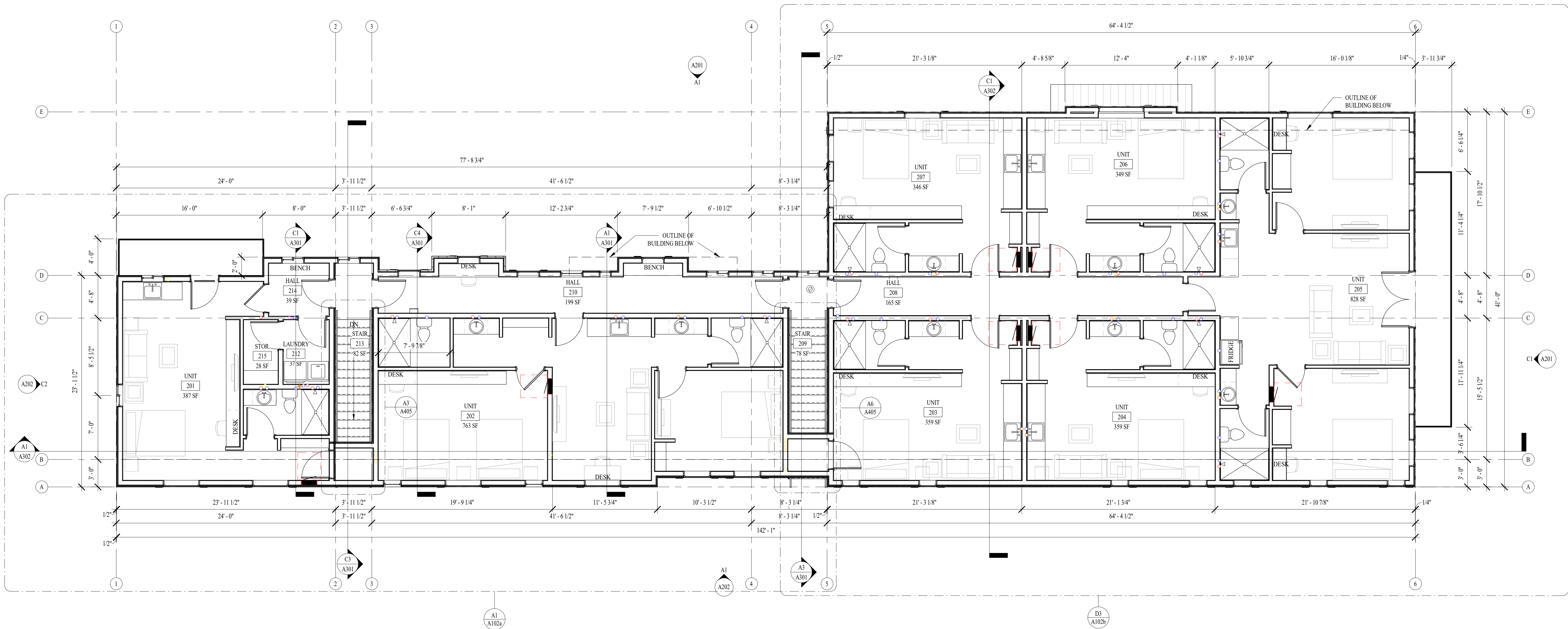
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PROJECT NUMBER  
147.2301

SECOND LEVEL  
FLOOR PLAN

DRAWING NUMBER  
**A102**



**SECOND LEVEL FLOOR PLAN**  
3/16" = 1'-0"

1 2 3 4 5 6

KEYNOTE LEGEND

- 104 42" HIGHT GUARDRAIL - COORDINATE STYLE WITH OWNER.
- 1001 SURFACE MOUNT FIRE EXTINGUISHER
- 2602 ELECTRICAL EQUIPMENT, SEE ELECTRICAL

FLOOR PLAN GENERAL NOTES:

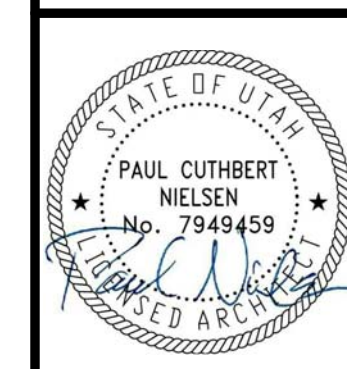
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PROJECT NUMBER  
147.2301

ENLARGED SECOND  
LEVEL FLOOR PLAN -  
AREA A

DRAWING NUMBER  
**A102a**

D

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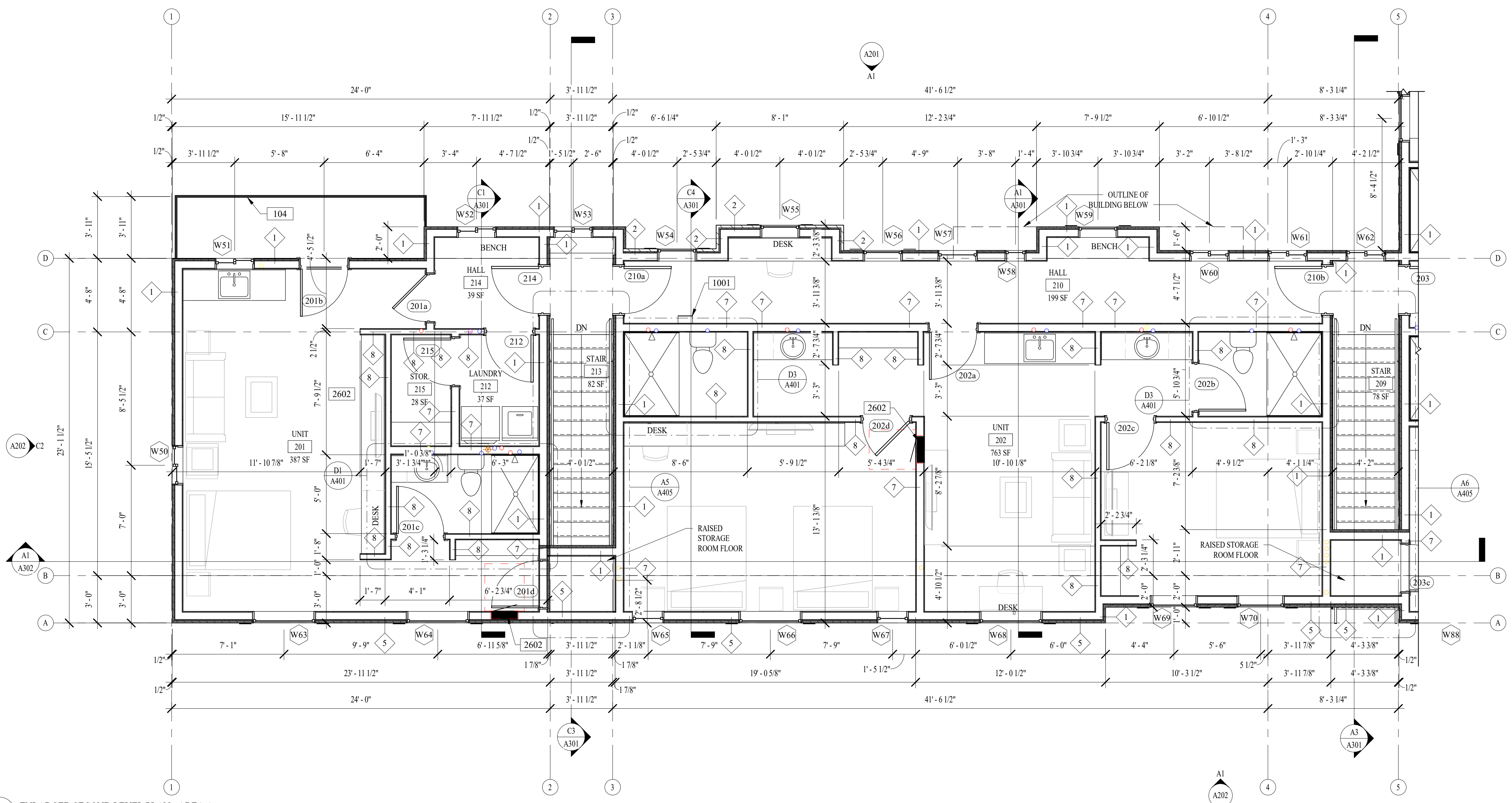
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ENLARGED SECOND LEVEL PLAN - AREA A  
1/4" = 1'-0"

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KEYNOTE LEGEND

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- 1001 SURFACE MOUNT FIRE EXTINGUISHER
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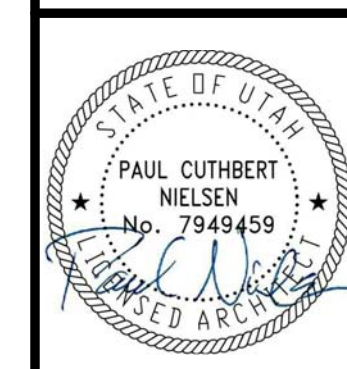
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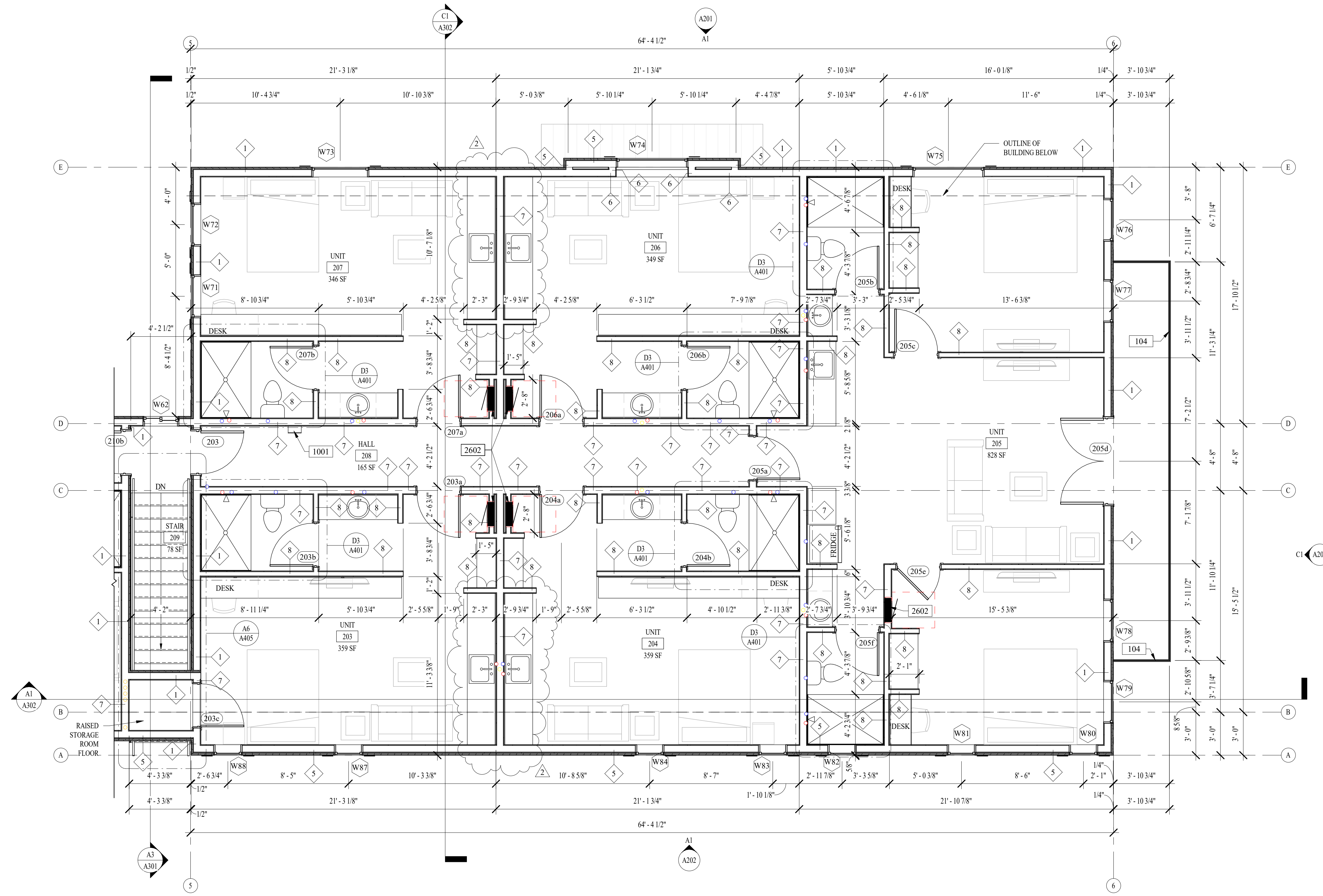


PROJECT NUMBER  
1472301

ENLARGED SECOND LEVEL FLOOR PLAN - AREA B

DRAWING NUMBER

**A102b**



D3 ENLARGED SECOND LEVEL PLAN - AREA B  
 A102b 1/4" = 1'-0"

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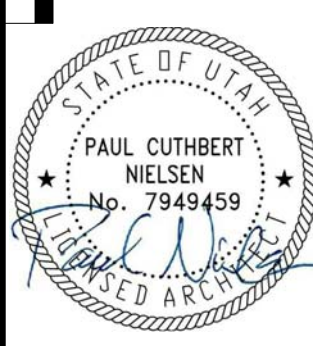
**ROOF PLAN GENERAL NOTES:**

- A. SLOPE ALL CRICKETS 1/4" PER FOOT MINIMUM OR PER MANUFACTURER RECOMMENDATIONS.
- B. FLASH AND SEAL ALL ROOF PENETRATION PER MANUFACTURERS RECOMMENDED DETAILS.
- C. ROOF ASSEMBLY TO HAVE A MINIMUM CLASS C ROOF COVERING CLASSIFICATION.
- D. CONTRACTOR TO PROVIDE ALL FITTINGS, PIPE JACKS, FLASHING SEALANTS, AND FASTENERS TO COMPLETE INSTALLATION.
- E. PROVIDE SNOW AND ICE SHIELD AT LEAST 36" WIDE IN ALL VALLEYS AND ALSO FROM THE LOWEST ROOF EDGE OF ALL ROOF SURFACES TO A POINT 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
- F. ALL VENT STACKS TO BE HIDDEN FROM MAJOR VIEWS - COORDINATE WITH OWNER.
- G. ROOF VENT CALC. 498/300=16.5 S.F. VENTS REQUIRED. PROVIDED. PROVIDE 1/2 WITH GABLE LOUVERS OR RIDGE VENTS. WHERE EAVE VENTS OR CORNICE VENTS ARE INSTALLED. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR.
- H. PROVIDE BAFFLES AT ATTIC TRUSSES INSULATED CAVITIES TO PROVIDE PATHWAY FOR VENTILATION FROM EAVES TO RIDGES.
- I. INSTALL GUTTER AND DOWNSPOUT TO BE AS UNOBTRUSIVE AS POSSIBLE.
- J. CHIMNEY HEIGHT TO BE 36" TALLER THAN ADJOINING ROOF AND 24" HIGHER THAN ANY ROOF WITH IN 10' HORIZONTAL.

| MARK | ISSUE DESCRIPTION | ISS. DATE  | REV. DATE |
|------|-------------------|------------|-----------|
| 01   | PERMITS SET       | 10.12.2023 |           |

  
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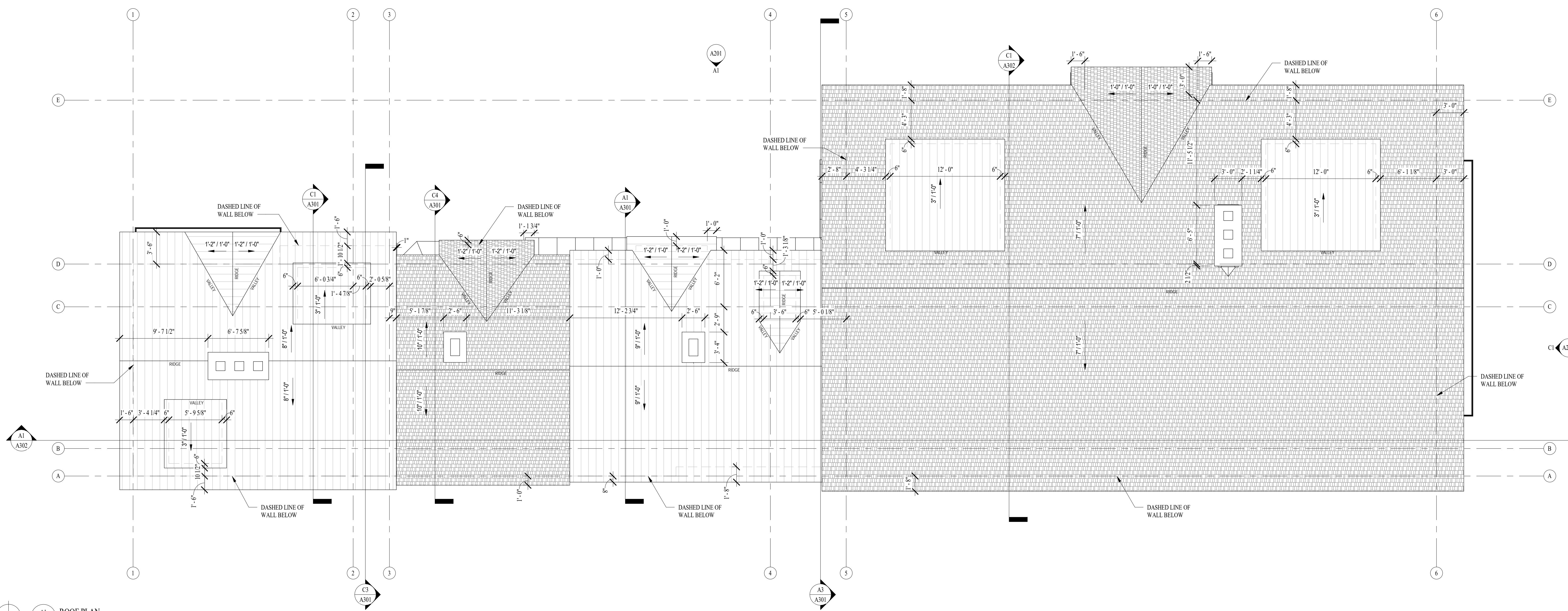



PROJECT NUMBER  
147.2301

ROOF PLAN

DRAWING NUMBER

**A105**




 A1 A105 ROOF PLAN  
 3/16" = 1'-0"

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