



**Midway**

**PLANNING COMMISSION MEETING STAFF REPORT**

**DATE OF MEETING:** June 8, 2021

**NAME OF PROJECT:** The Reserve at Midway Phase 2

**NAME OF APPLICANT:** Russ Watts, agent for Watts Enterprises

**PROPERTY OWNER:** Midway Vistas Development Inc.

**AGENDA ITEM:** Final

**LOCATION OF ITEM:** 285 Luzern Road

**ZONING DESIGNATION:** RA-1-43

**ITEM: 5**

Watts Enterprises, agent for Midway Vistas Development Inc, is proposing final approval of phase 2 of The Reserve at Midway. The proposal contains 22 lots on 36.6 acres, which includes 11.4 acres of open space. The property is located at 285 Luzern Road and is in the RA-1-43 zone.

**BACKGROUND:**

Watts Enterprises, agent for Midway Vistas Development Inc., is proposing preliminary approval of phase 2 of The Reserve at Midway (formerly known as Midway Vistas). Phase 2 contains 22 lots on 36.7 acres, of which, 11.83 acres is open space. The master plan was approved July 7, 2020 with three phases with a total of 49 lots. The developer combined phases 2 and 3 with their preliminary application to create a larger second phase. Thus, the subdivision will be developed in two phases instead of three. The project is a large-scale standard subdivision but, unlike most standard subdivisions where the roads are public, the roads in The Reserve at Midway will be private but there will be a public access easement.

**LAND USE SUMMARY:**

- 36.7 acres in phase 2
  - Entire master plan 83.19 acres
- 11.83 acres of open space in phase 2
- RA-1-43 zoning
- Proposal contains 22 lots
  - Entire master plan contains 49 lots
- Project is a standard subdivision
- Private roads and trails maintenance will be the responsibility of the HOA
  - Public access easement on all roads and on trails with public easements
- The lots will connect to the Midway Sanitation District sewer and to the City’s culinary water line.
- Paved public trails and a public trail easement for a back-country trail
  - Project will participate in an off-site trail about 300’ in length along Homestead Drive

**ANALYSIS:**

*Open Space* – The code requires that with each phase there is enough open space to comply with the 15% requirement. If phase 1 has 75% open space, then phase 2 only needs to have 25% open space if both phases are equal in acreage. The proposed plans do comply with the open space requirements. Open space per phase is the following:

	Total Acreage	Open Space	%
Phase 1	46.89	13.63	29.1%
Phase 2	36.6	11.4	31.1%
	83.19	25	30%

Part of the open space will not be irrigated for a couple of reasons. Some of the areas that will not be irrigated are in sloped areas and some are areas that historically have never been irrigated. The City tries to anticipate what areas future lot owners will

irrigate and what common areas that the HOA may want to irrigate in the future when determining to allow areas without water rights. The Water Board recommended to allow some areas that will not be irrigated, and those areas will be noted on the plat. All lots, except lot 30, have water rights that allow the entire lots to be irrigated.

*Density* – The annexation agreement limits density to 49 lots and phase 2 will contain 22 of the allowed lots.

*Access* – Each phase of the subdivision must meet the access requirements. Phase 2 does have two points of access and does comply with City code requirements. The three access points for the development are Canyon View Road (public), Interlaken Drive (private), and Luzern Road (Interlaken public road). Because Interlaken Drive is a private road the developer arrived at an agreement with owners of the road that will allow use of Interlaken Drive.

*Traffic Study* – A traffic study was submitted to the City on May 27, 2020. The study has been reviewed by Horrocks Engineers.

*Geotechnical Study* – The developers have submitted a geotechnical study to the City as part of the application. Horrocks Engineers has reviewed the study to determine if any special requirements are needed for construction of the roads and future structures in the development. The report is available for viewing in the planning office or by request.

*Lot acreage* – The land use code allows the area of lots to reduce in size based on the amount of open space in the subdivision. The code requires 15% open space for this proposal and the developer has provided 30%. Because the developer has 15% extra open space, the lots may reduce in size by 15%, therefore the minimal size lot allowed is 0.85 acres, of which there are several in the proposed master plan. Likewise, required street frontage for lots may also reduce by the amount of extra open space provided. Because of the extra 15% open space that is being provided, the minimum lot frontage is 127.5' except on the bulb of a cul-de-sac where the minimum is 60'.

*Sensitive Lands* – The property does contain slopes greater than 25%. Dwellings are not allowed on areas of slope greater than 25%. The proposed plan complies with this requirement.

*Trails* – The Trails Master Plan contains two planned public trails that cross the property. One trail runs north from Canyon View Road to Interlaken and the other runs from the center of the property to Interlaken Drive. These trails will be paved and will be maintained by the HOA. If the Association fails to maintain the trails, to City standards, the City will provide written notice to the HOA. If the HOA fails or refuses to correct such deficiency within 30 days, then the City has the right to perform the maintenance and repairs and has the right to bill the HOA.

The proposal will also dedicate a public trail easement for a backcountry trail that will take the place of an existing similar trail that currently crosses the northern end of the property. The easement for the trail will be 10' wide and will be located in the common area along the north end of the property running from Interlaken's pump station heading southwest to the west end of the property. It will be the responsibility of the City to build the trail and it is anticipated that volunteers will complete the construction.

*Setbacks* – All structures in the proposed development will need to comply with the RA-1-43 standards.

*Height of structures* – All structures in the proposed development will be no taller than 35' to the roof measured from natural grade.

*Both phases will be one HOA* – Both phases of the master plan will all be one Homeowners' Association, and this has been memorialized in the master plan agreement. The HOA is responsible for maintenance of the streets, private trails, and any amenities, such as the tennis court, that is provided.

*Roads and roadside trails* - The proposal is a standard subdivision, which usually has public roads, but the annexation agreement specifies that the roads will be private. The recently approved annexation agreement amendment requires that a public access easement is granted for the roads and trails in the subdivision. The easement will be noted on the plats of both phases.

*Secondary water meters* - The developer will provide secondary water meters to Midway Irrigation Company and the secondary water meters will be installed by the irrigation company at the time of construction of dwellings on those lots. The developer will also construct a water storage tank that will supply the lots with irrigation water.

#### **WATER BOARD RECOMMENDATION:**

The Water Board reviewed the master plan and determined that 191.24-acre feet are required for the entire project. Phase 1 would dedicate 120.18-acre feet, Phase 2 would dedicate 32.7-acre feet, and phase 3 would dedicate 38.36-acre feet. All the required water rights will be held in escrow before the master plan agreement is recorded.

At preliminary approval, phase 2 and 3 of the masterplan were combined to create the current proposed phase 2. This adjustment would result in an updated quantity of 71.06-acre feet for the proposed phase 2.

#### **POSSIBLE FINDINGS:**

- The proposal complies with the requirements of the code for standard subdivisions.

- The proposal does meet the vision of the area as described in the General Plan for the RA-1-43 zone.
- The public trails will be built by the developer that will be an amenity to the entire community.

**ALTERNATIVE ACTIONS:**

1. Recommendation of Approval (conditional). This action can be taken if the Planning Commission finds the proposal complies with the requirements of the Land Use Code.
  - a. Accept staff report
  - b. List accepted findings
  - c. Place condition(s) if needed
2. Continuance. This action can be taken if the Planning Commission finds that there are unresolved issues.
  - a. Accept staff report
  - b. List accepted findings
  - c. Reasons for continuance
    - i. Unresolved issues that must be addressed
  - d. Date when the item will be heard again
3. Recommendation of Denial. This action can be taken if the Planning Commission finds that the request does not meet the requirements of the code.
  - a. Accept staff report
  - b. List accepted findings
  - c. Reasons for denial

**PROPOSED CONDITIONS:**

1. All approved non-irrigated areas will be noted on the plats.
2. Private roads in the development will have a public access easement which will be noted on the plats and in the development agreement.
3. Private trails with public access easements will be maintained by the HOA.

June 8, 2021

Midway City  
Attn: Michael Henke  
75 North 100 West  
Midway, Utah 84049

**Subject: The Reserve Subdivision Phase 2 – Final Approval**

Dear Michael:

Horrocks Engineers recently reviewed The Reserve phase 2 subdivision plans for Final approval. The proposed subdivision borders Interlaken to the North and Scotch Fields Subdivision to the South. The proposed subdivision consists of 22 lots. All redline comments should be addressed. The following items should be addressed.

**Water**

- The proposed development will be served from the Cottages on the Green pressure zone.
- The proposed development will connect to the 10" culinary water line that is to be installed as part of phase 1 of the development.

**Roads**

- The proposed roads within subdivision will be private and have right-of-way widths of 56'.
- As part of the annexation agreement all roads within the subdivision will be private with a public use easement.
- Luzern Road will be relocated through the development using Mountain Top Road.

**Pressure Irrigation**

- The subdivision will be serviced by Midway Irrigation Company.
- The irrigation system will utilize a water storage tank that is to be built with phase 1 and private 8" PI lines to serve the homes throughout phase 2.
  - What is the status of the irrigation tank redlines?
- All removal, additions, or revisions to the pressure irrigation system must be approved by Midway Irrigation Company.

**Trails**

- An 8' private trail system with public use easement is shown throughout the development.
- The trails will connect with the Scott Fields development on Canyon View Road.

**Storm Drain**

- The storm drain system will be private and will be collected within the proposed curb and gutter and discharged to a series of catch basins, sumps, and retention basins with

- the development.
- The Reserve HOA will be responsible for maintenance of the storm system.

Sewer

- Sewer will be provided by the Midway Sanitation District.

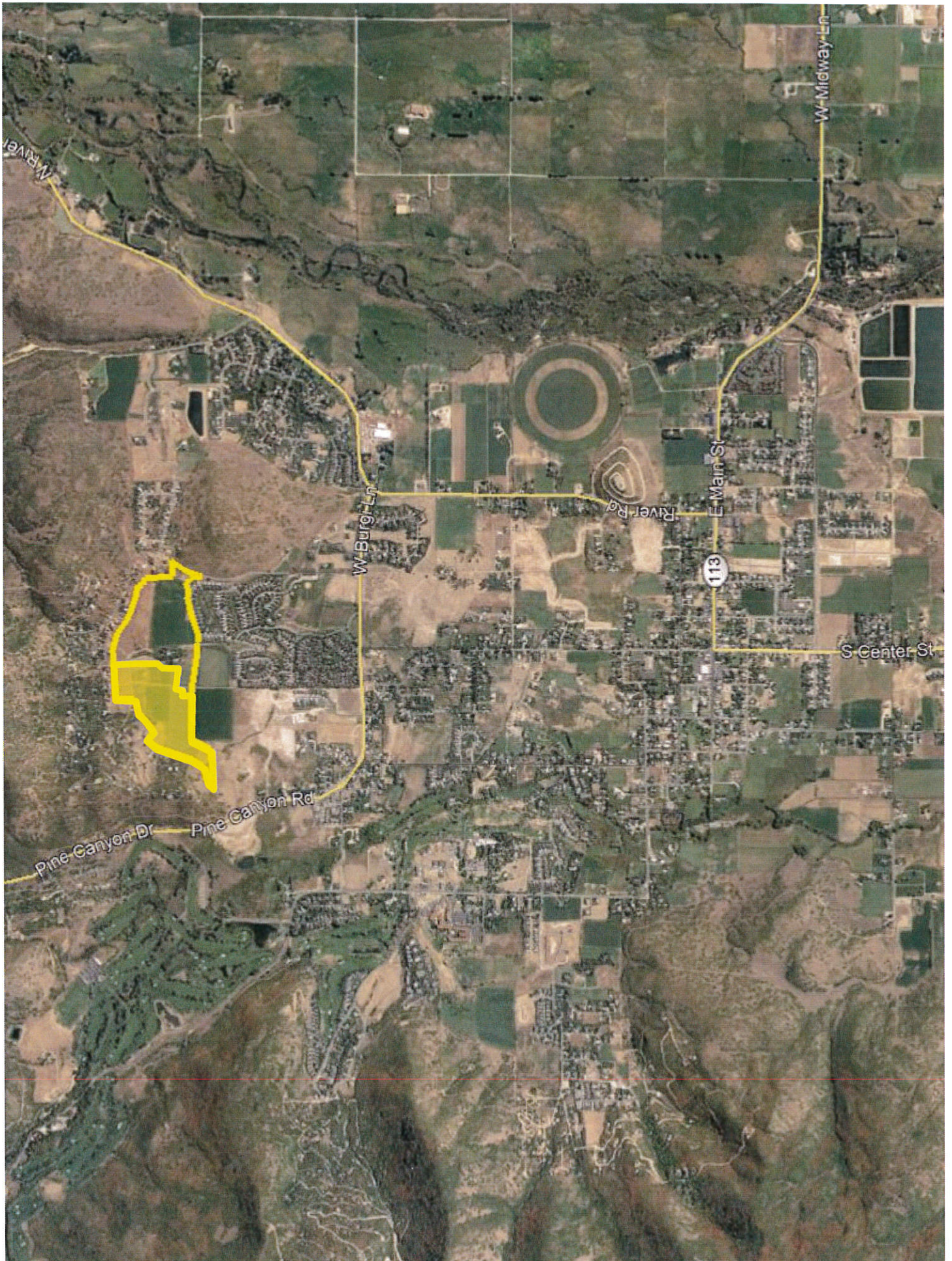
Please feel free to call our office with any questions.

Sincerely,  
HORROCKS ENGINEERS

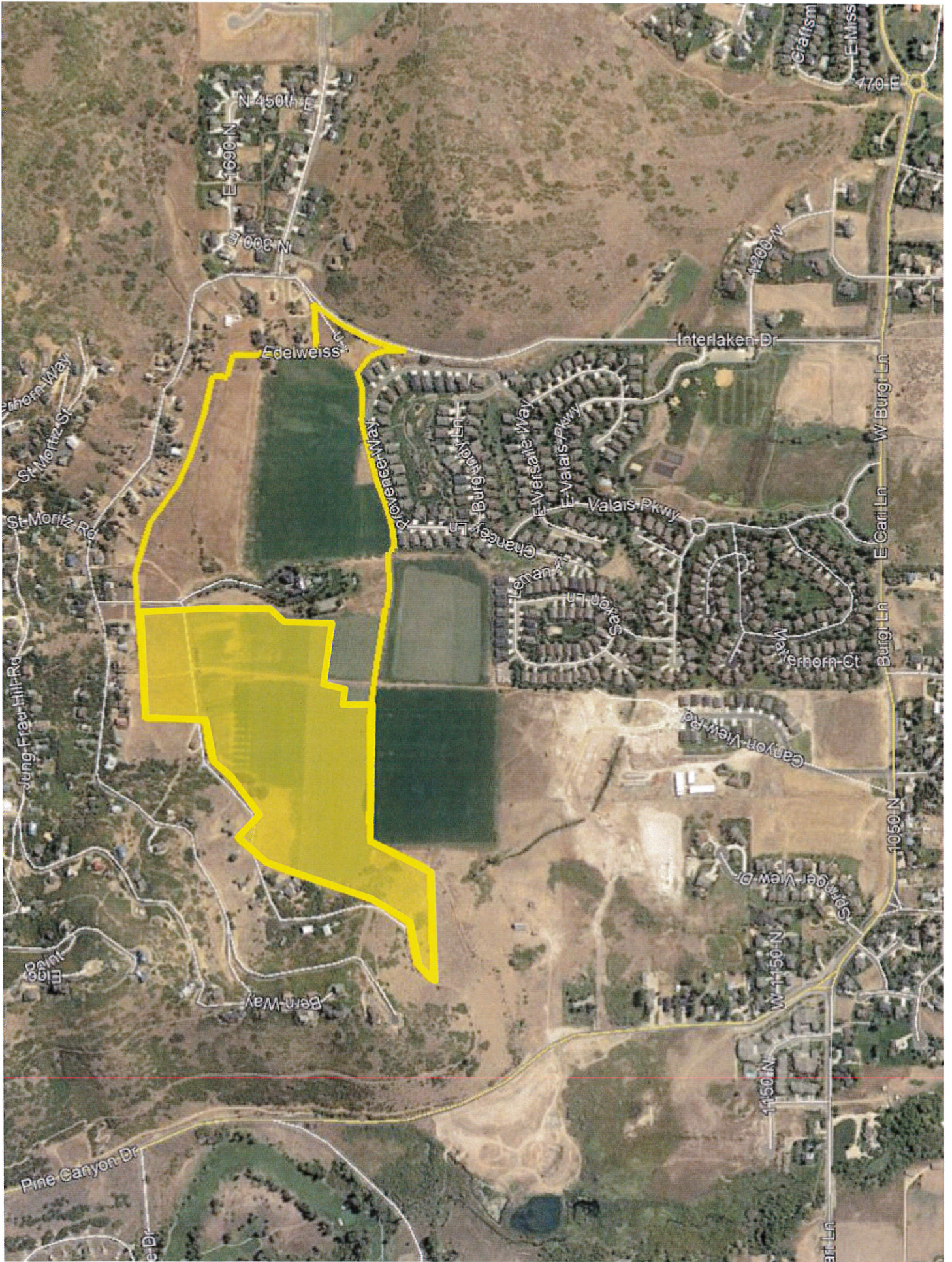
A handwritten signature in blue ink, appearing to read 'Wesley Johnson', written over a circular stamp or seal.

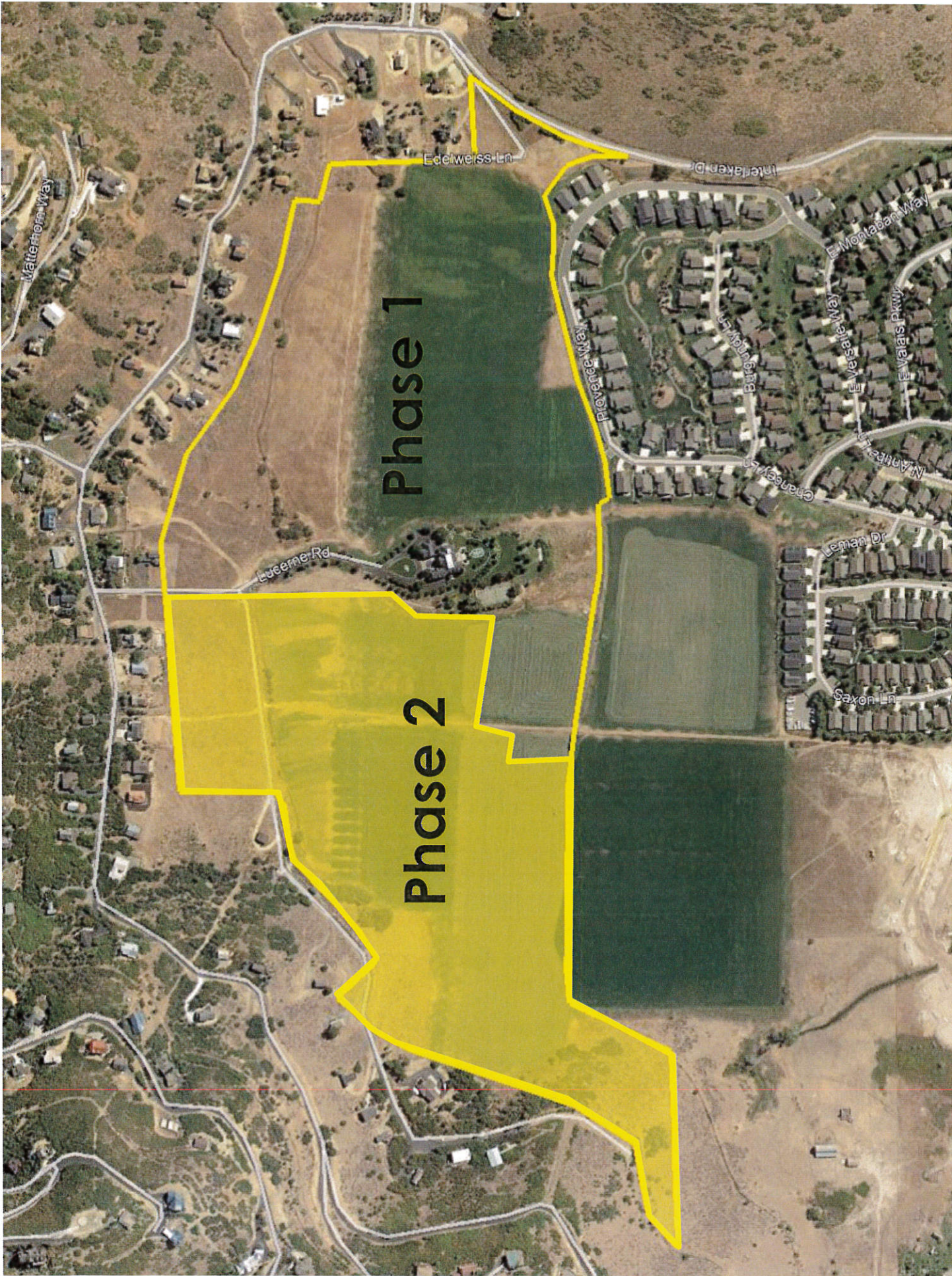
Wesley Johnson, P.E.  
Midway City Engineer

cc: Berg Engineering









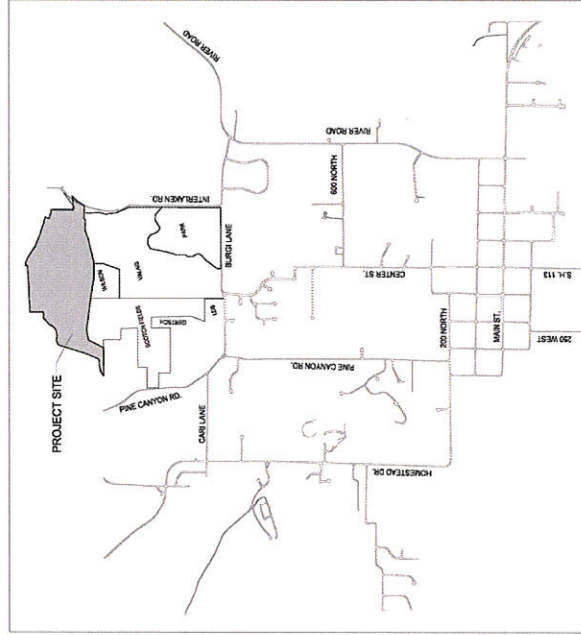
# THE RESERVE AT MIDWAY - PHASE 2

## FINAL APPLICATION

THE RESERVE AT MIDWAY PHASE 2 FINAL APPLICATION - 12 MAY 2021

### SHEET INDEX

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22. STORM DRAIN MASTER PLAN
23. STORM DRAIN CONSTRUCTION DETAILS
24. RESERVE TOP DRIVE STORM DRAIN & POND F STA 25+75
25. RESERVE TOP DRIVE STORM DRAIN & POND D STA 34+50 - 38+50
26. CUL-DE-SAC STORM DRAIN & POND E PLAN & PROFILE STA 0+00 - 6+61
27. STORM DRAIN CONSTRUCTION DETAILS
28. LANDSCAPE PLAN
29. STORM WATER POLLUTION PROTECTION PLAN



MIDWAY CITY  
VICINITY MAP

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 DATE: 12 MAY 2021

KIRK MALMROSE  
 THE RESERVE AT MIDWAY

COVER SHEET



DESIGN BY: JMB DATE: 11 MAY 2021 SHEET: 0  
 DRAWN BY: JEB REV:



FOR THE PURPOSES OF THIS PLAN, THE ASSUMED LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BLUE LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THOSE SHOWN ON THIS PLAN.

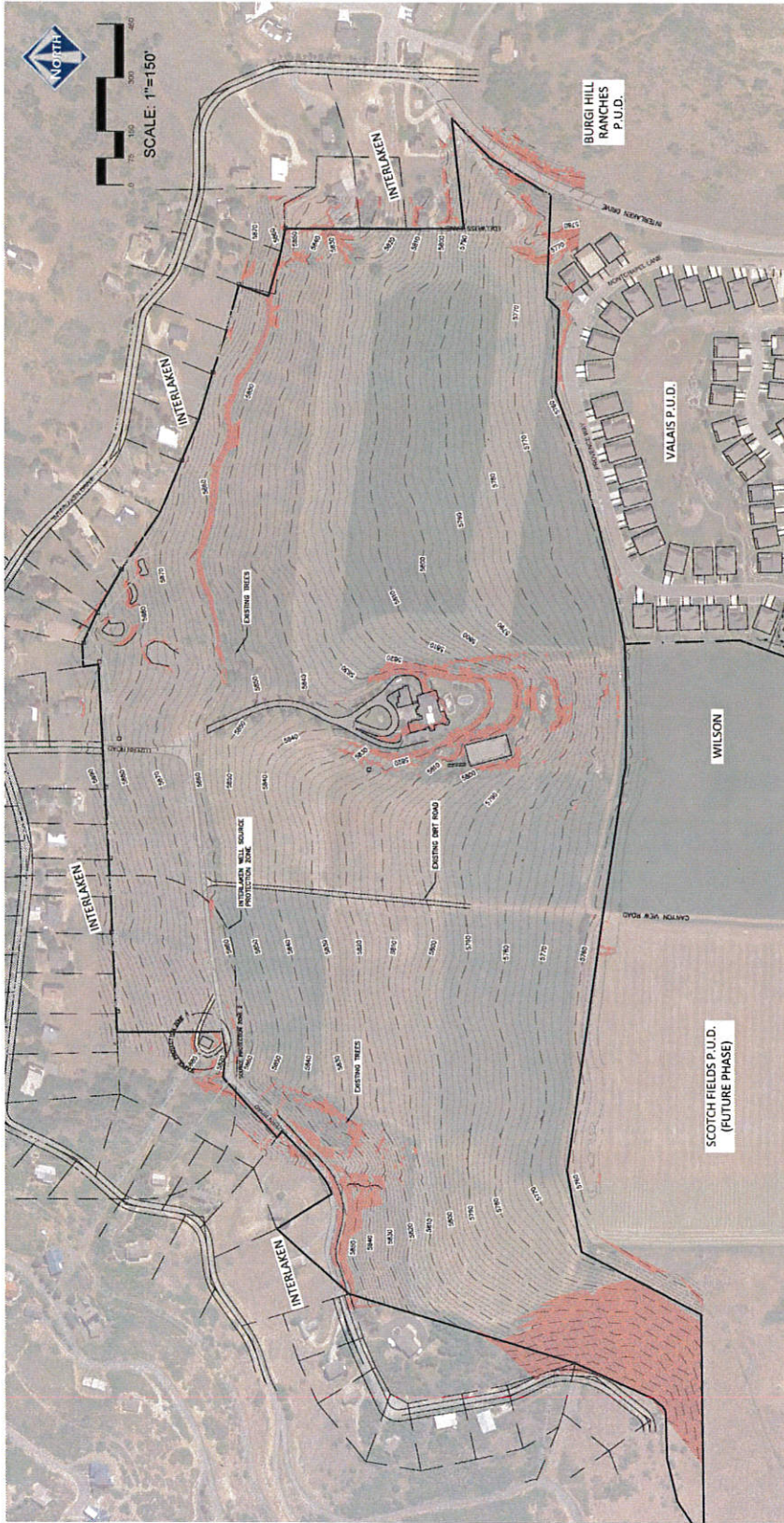
- LEGEND:**
- EXISTING CONTOURS
  - EXISTING PRESSURIZED IRRIGATION
  - EXISTING OVERHEAD POWER
  - EXISTING SANITARY SEWER
  - SLOPES GREATER THAN 25%
  - EXISTING SEWER MANHOLE
  - EXISTING WATER LINE
  - EXISTING GAS LINE

**KIRK MALMROSE**  
**THE RESERVE AT MIDWAY**  
 EXISTING CONDITIONS

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DESIGN BY: DMR DATE: 12 MAY 2007  
 DRAWN BY: DMR SHEET 1



THIS DOCUMENT IS PREPARED FOR THE PROPERTY  
 PER SECTION 16.14 OF THE MIDWAY CITY CODE.

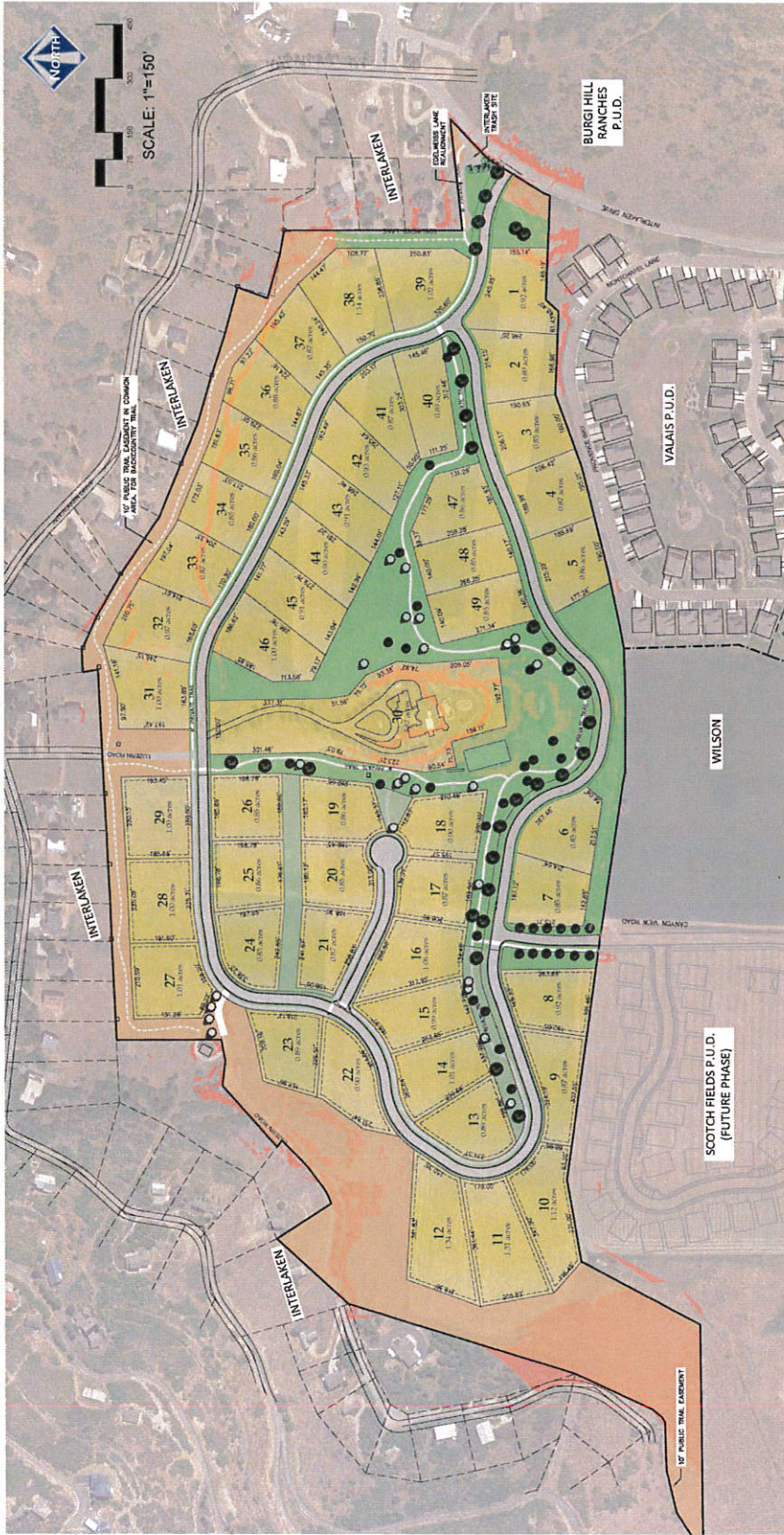
LEGEND:  
 - - - - - EXISTING CONTOURS  
 [Red Hatched Box] SLOPES GREATER THAN 25%

KIRK MALMROSE  
**THE RESERVE AT MIDWAY**  
 SENSITIVE LANDS PLAN

**BERG ENGINEERING**  
 1400 W. 10th Street, Suite 204  
 Midway, GA 30054  
 Phone: 404.487.9999  
 Fax: 404.487.9998  
 Email: info@bergeng.com  
 Website: www.bergeng.com

DESIGN BY: TDB  
 DRAWN BY: DBJ  
 DATE: 13 MAY 2011  
 SHEET  
 2

THIS DOCUMENT IS PREPARED FOR THE PROPERTY  
 PER SECTION 16.14 OF THE MIDWAY CITY CODE.



**ALLOWED LOT SIZE**  
 LOT SIZE AND FRONTAGE MAY BE REDUCED 15%  
 DUE TO THE EXTRA 2% OPEN SPACE THAT IS  
 DEDICATED TO THE SUBDIVISION.  
 ALLOWED MINIMUM LOT SIZE = 0.85 ACRES  
 ALLOWED MINIMUM FRONTAGE = 127.50 FEET

**LOT JOG**  
 IRRIGATED AREA = 1.63 ACRES  
 COMMON AREA = 12.03 ACRES  
 IMPERVIOUS AREA = 1.00 ACRES

ROAD ROW IRRIGATED AREA FOR SWALES = 1.91 ACRES

**LUZERN ROAD NOTE:**  
 LUZERN ROAD WILL BE ABANDONED THROUGH  
 LOTS 27-28. LUZERN ROAD WILL CONNECT TO  
 THE NEW ROAD IN THE SUBDIVISION BETWEEN  
 LOTS 27 AND 28. THE NEW ROAD WILL  
 CONNECT TO THE NEW ROAD IN THE  
 SUBDIVISION.

**LEGEND**

- COMMON AREA WITH TRAILS & TENNIS COURT (12.03 ACRES)
- IRRIGATED COMMON AREA (11.15 ACRES)
- UN-IRRIGATED COMMON AREA/OPEN SPACE (13.48 ACRES)
- LOTS
- PRIVATE ASPHALT TRAILS (1,100 LF)
- PRIVATE BACKCOUNTRY TRAIL
- SLOPES GREATER THAN 25%

TOTAL AREA	83.19 AC
OPEN SPACE REQUIREMENT	12.48 AC (15.00%)
OPEN SPACE (PROPOSED)	25.42 AC (30.56%)
NUMBER OF LOTS	48 NEW LOTS
	1 LEGISLATOR LOT
	49 TOTAL LOTS

NUMBER OF LOTS MATCHES ANNEXATION AGREEMENT.

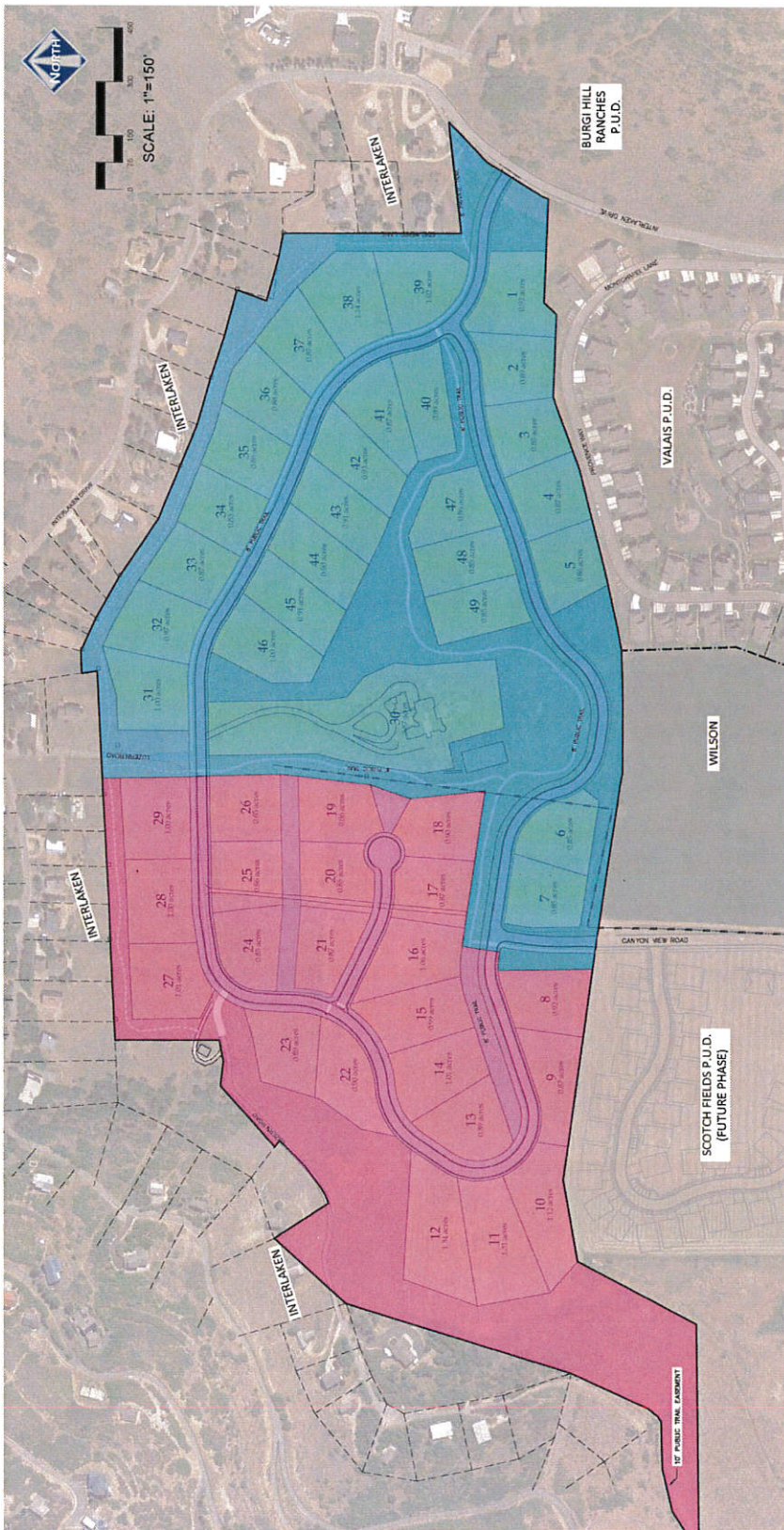
THIS PLAN IDENTIFIES SENSITIVE LANDS ON THE PROPERTY  
 PER SECTION 16.14 OF THE MIDWAY CITY CODE.

**KIRK MALMROSE**  
**THE RESERVE AT MIDWAY**  
**APPROVED MASTER PLAN**



DRAWN BY: BJB  
 DATE: 12 MAY 2001  
 SHEET 3

THIS DOCUMENT IS RELEASED  
 UNLESS OTHERWISE NOTED  
 UNLESS BIDDING AND SALES  
 IS IN PROGRESS  
 SERIAL NO. 20010305  
 DATE: 12 MAY 2001



**LEGEND**



PHASE	TOTAL LOTS	LOTS#	TOTAL AREA	OPEN SPACE REQUIREMENT	OPEN SPACE %	CUMULATIVE OPEN SPACE %	NON-IRRIGATED OPEN SPACE
1	27	1-7, 30-49	46.89 AC	11.63 AC	24.82%	24.82%	3.38 AC
2	22	8-22, 24-29	36.30 AC	11.37 AC	31.33%	56.14%	9.87 AC
<b>TOTAL</b>	<b>49</b>	<b>1-49</b>	<b>83.19 AC</b>	<b>23.00 AC</b>	<b>27.65%</b>	<b>56.14%</b>	<b>13.25 AC</b>

**LAND USE TABLE**

TOTAL AREA	OPEN SPACE REQUIREMENT	NUMBER OF LOTS	NUMBER OF LOTS MATCHES ANNEXATION AGREEMENT.
83.19 AC	23.00 AC (27.65%)	49 TOTAL LOTS	49
12.48 AC (15.00%)	25.63 AC (30.69%)	48 NEW LOTS	48
		1 ZENITH LOTS	1

**NOTES:**  
 1. THIS PHASE PER CITY ORDINANCE  
 2. 30% REQUIRED FOR REDUCE LOT SIZES PROPOSED WITH THIS PROJECT.

THIS DOCUMENT IS BELIEVED  
 TO BE A TRUE AND CORRECT  
 COPY OF THE ORIGINAL  
 UNLESS STATED AND SIGNED  
 THEREON.  
 DATE: 11.16.2017  
 BY: JLM/STJ

**KIRK MALMROSE**  
**THE RESERVE AT MIDWAY**  
**APPROVED PHASING PLAN**

**BERG ENGINEERING**  
 10000 W. 10th Ave., Suite 100  
 Denver, CO 80231  
 PHONE: 303.751.7979  
 FAX: 303.751.7978  
 DATE: 11.16.2017

DESIGN BY: PMB  
 DRAWN BY: JLM

DATE: 12 MAY 2017  
 SHEET NO.: 4





# THE RESERVE AT MIDWAY

PHASE 2

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 22, AND THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

LINE	LENGTH	DIRECTION
L1	50.07	S07°09'14"E
L2	34.07	S02°20'32"E
L3	22.01	S02°20'32"E
L4	34.07	S07°29'10"W
L5	22.00	S07°29'10"W
L6	18.36	S07°29'10"W
L7	18.36	S07°29'10"W
L8	3.90	N02°29'10"W

LOT	ADDRESS
8	RESERVE TWP DRIVE
9	RESERVE TWP DRIVE
10	RESERVE TWP DRIVE
11	RESERVE TWP DRIVE
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28	RESERVE TWP DRIVE
29	RESERVE TWP DRIVE

ADDRESSING TO BE COMPLETED BY WASHCOT COUNTY GIS DEPARTMENT

CURVE TABLE			CURVE TABLE			CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING	CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	150.00	53.97	020°36'47"	182°51'37"E	53.87	C21	222.00	293.66	087°47'24"	403°07'47"E	242.64
C2	172.00	33.45	01°18'32"	N87°50'14"W	33.45	C22	278.00	89.18	01°22'34"	N78°45'58"E	88.78
C3	424.00	66.30	00°41'22"	S83°20'05"W	66.25	C23	172.00	114.87	03°14'46"	S68°46'58"W	112.70
C4	144.00	197.80	07°54'33"	S41°17'08"W	182.89	C24	228.00	132.20	03°24'46"	S68°46'58"W	149.37
C5	260.00	108.00	02°16'45"	S07°03'17"W	104.87	C25	228.00	56.37	03°24'47"	S40°44'27"W	56.33
C6	780.00	201.74	05°27'02"	S37°35'30"W	249.02	C26	172.00	41.77	03°24'47"	S40°44'27"W	41.66
C7	208.00	198.38	05°53'16"	S32°43'28"W	180.25	C27	178.00	46.47	04°37'28"	S28°16'02"W	46.34
C8	156.00	38.77	14°22'55"	S37°25'09"E	258.35	C28	178.00	128.37	04°36'33"	S01°58'51"E	128.44
C9	184.00	91.77	02°10'09"	N48°54'36"E	90.91	C29	178.00	137.78	04°27'04"	S44°57'43"E	134.37
C10	284.00	118.45	02°13'46"	S78°38'07"E	115.45	C30	122.00	188.59	08°34'00"	S10°20'31"E	170.36
C11	528.00	70.86	00°41'22"	S80°00'09"W	70.81	C31	222.00	114.67	05°49'53"	S81°42'00"E	110.45
C12	472.00	42.34	005°08'22"	S80°16'36"W	42.30	C32	178.00	128.87	04°28'52"	S57°25'41"E	128.07
C13	472.00	21.01	007°33'00"	S82°25'30"W	21.01	C33	172.00	42.91	03°27'12"	S39°14'52"W	42.78
C14	178.00	103.80	03°28'37"	S47°26'18"W	102.43	C34	228.00	107.85	02°16'09"	S48°25'38"W	106.85
C15	122.00	167.67	02°54'33"	S41°47'08"W	154.78	C35	12.00	171.97	08°24'19"	S25°45'04"E	15.78
C16	178.00	98.71	01°07'52"	S32°05'37"W	95.53	C36	12.00	171.97	08°24'19"	S25°45'04"E	15.78
C17	178.00	44.01	01°10'04"	S07°23'51"W	43.80	C37	222.00	38.59	00°11'06"	S88°21'47"E	38.55
C18	222.00	60.97	01°54'08"	N07°16'51"E	60.78	C38	278.00	51.41	01°25'47"	S69°14'57"E	51.34
C19	278.00	78.28	01°54'14"	N07°16'51"E	76.94	C39	222.00	65.40	01°02'40"	N81°33'49"W	65.19
C20	278.00	102.88	03°14'51"	N52°46'30"E	100.37	C40	278.00	76.04	03°29'02"	S80°16'02"E	74.82

BEAR IN MIND THAT THE ABOVE INFORMATION IS FOR INFORMATIONAL PURPOSES ONLY. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

ALL PRIVATE TRAILS CONTAIN A PUBLIC TRAIL EASEMENT. SEE THE EASEMENT SCHEDULE FOR A COMPLETE LIST OF EASEMENTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

RESERVE TWP DRIVE

ALL PRIVATE TRAILS CONTAIN A PUBLIC TRAIL EASEMENT. SEE THE EASEMENT SCHEDULE FOR A COMPLETE LIST OF EASEMENTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

RESERVE TWP DRIVE

ALL PRIVATE TRAILS CONTAIN A PUBLIC TRAIL EASEMENT. SEE THE EASEMENT SCHEDULE FOR A COMPLETE LIST OF EASEMENTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

CURVE TABLE			CURVE TABLE			CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING	CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C41	12.00	11.85	030°30'00"	S82°25'30"W	11.11	C46	58.00	78.88	07°00'00"	N48°54'36"E	78.01
C42	12.00	11.85	030°30'00"	S82°25'30"W	11.11	C47	58.00	78.88	07°00'00"	N48°54'36"E	78.01
C43	58.00	83.15	08°28'27"	S75°52'13"W	78.21	C48	278.00	91.07	01°04'51"	N85°17'17"E	84.89
C44	58.00	47.88	04°16'30"	S69°28'17"E	46.31	C49	278.00	85.25	01°33'04"	N85°17'17"E	84.89
C45	58.00	83.16	08°28'27"	S75°52'13"W	78.21	C50	278.00	85.25	01°33'04"	S78°49'29"W	84.87
C46	58.00	78.88	07°00'00"	N48°54'36"E	78.01						
C47	58.00	78.88	07°00'00"	N48°54'36"E	78.01						
C48	278.00	91.07	01°04'51"	N85°17'17"E	84.89						
C49	278.00	85.25	01°33'04"	N85°17'17"E	84.89						
C50	278.00	85.25	01°33'04"	S78°49'29"W	84.87						

RESERVE TWP DRIVE

ALL PRIVATE TRAILS CONTAIN A PUBLIC TRAIL EASEMENT. SEE THE EASEMENT SCHEDULE FOR A COMPLETE LIST OF EASEMENTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

RESERVE TWP DRIVE

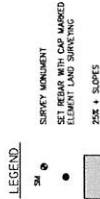
ALL PRIVATE TRAILS CONTAIN A PUBLIC TRAIL EASEMENT. SEE THE EASEMENT SCHEDULE FOR A COMPLETE LIST OF EASEMENTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

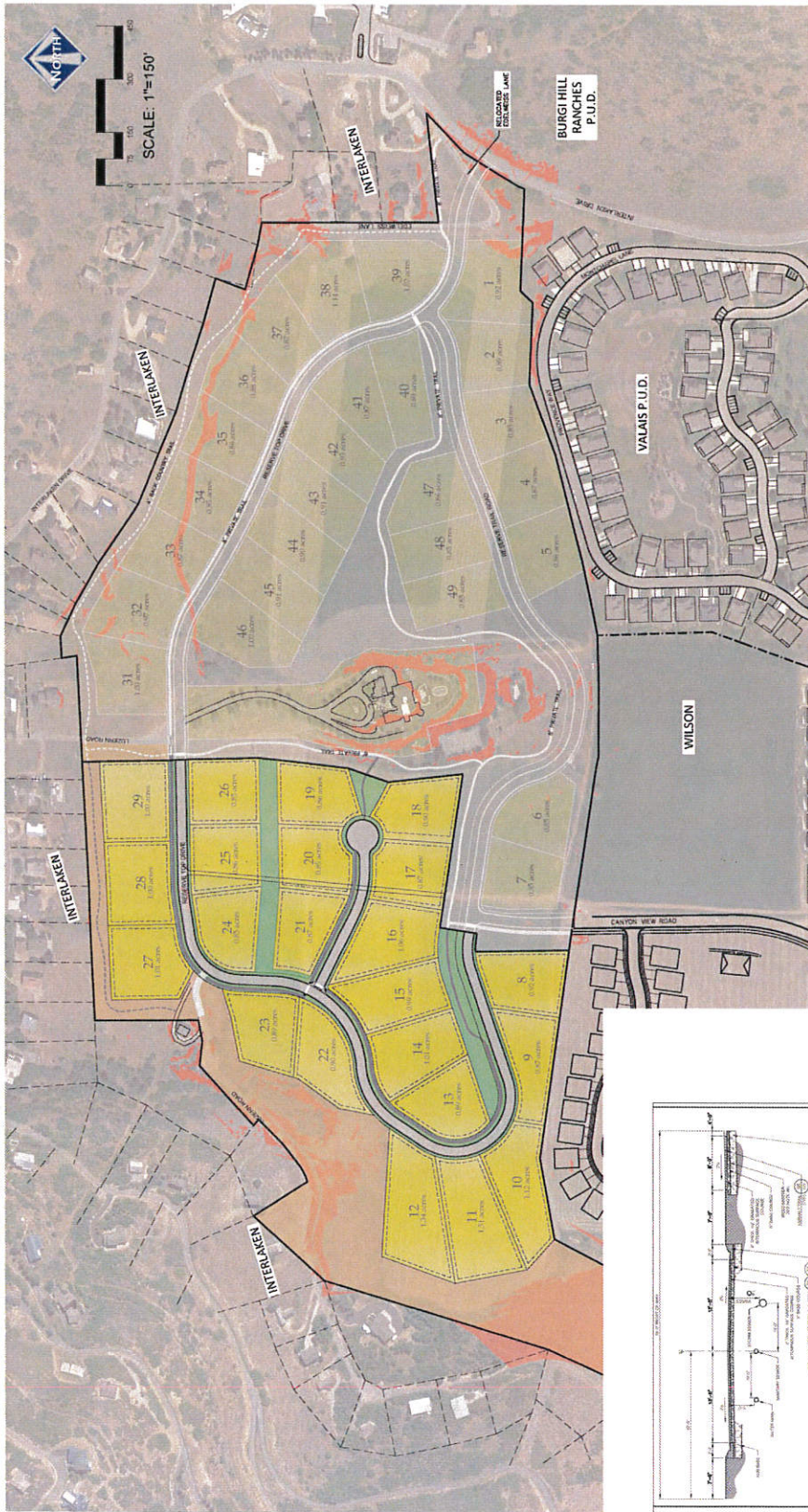
RESERVE TWP DRIVE

ALL PRIVATE TRAILS CONTAIN A PUBLIC TRAIL EASEMENT. SEE THE EASEMENT SCHEDULE FOR A COMPLETE LIST OF EASEMENTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

RESERVE TWP DRIVE

ALL PRIVATE TRAILS CONTAIN A PUBLIC TRAIL EASEMENT. SEE THE EASEMENT SCHEDULE FOR A COMPLETE LIST OF EASEMENTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.





**LUZERN ROAD NOTE:**  
 LUZERN ROAD WILL BE ABANDONED THROUGH LOTS 27-29. LUZERN ROAD WILL BE ABANDONED THROUGH LOTS 27-29. THE WELL PUMP HOUSE AND LOT 27 TO CONNECT TO THE NEW ROAD IN THE SUBDIVISION.

**TRAIL NOTES:**

- 4' BACK COUNTRY TRAIL WILL BE CONSTRUCTED BY MIDWAY CITY.
- PRIVATE TRAILS HAVE A PUBLIC USE EASEMENT. SEE THE DEVELOPMENT AGREEMENT FOR FURTHER CONDITIONS REGARDING USE, MAINTENANCE AND LIABILITY.

**LEGEND:**

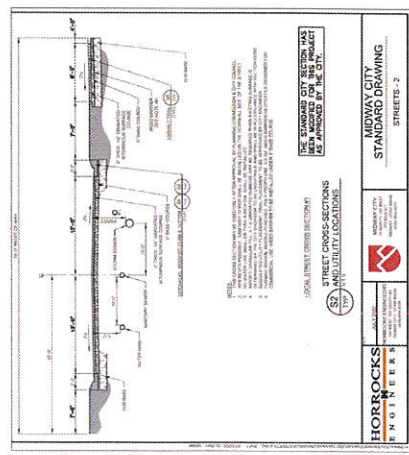
-  LOTS (PHASE 2)
-  PRIVATE ASPHALT TRAILS (2.845 LF)
-  PRIVATE BACKCOUNTRY TRAIL
-  SLOPES GREATER THAN 25%

**KIRK MALMROSE**  
**THE RESERVE AT MIDWAY**  
**PHASE 2 STREETS &**  
**TRAILS PLAN**

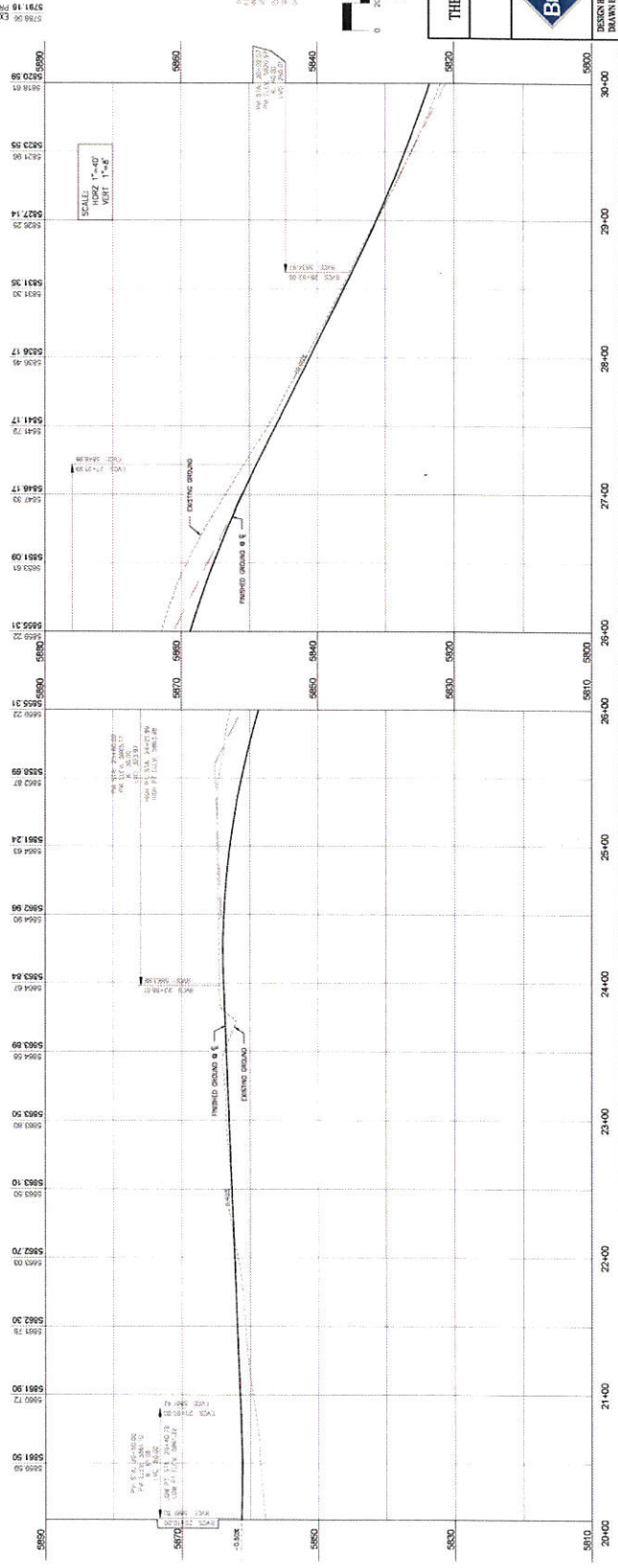
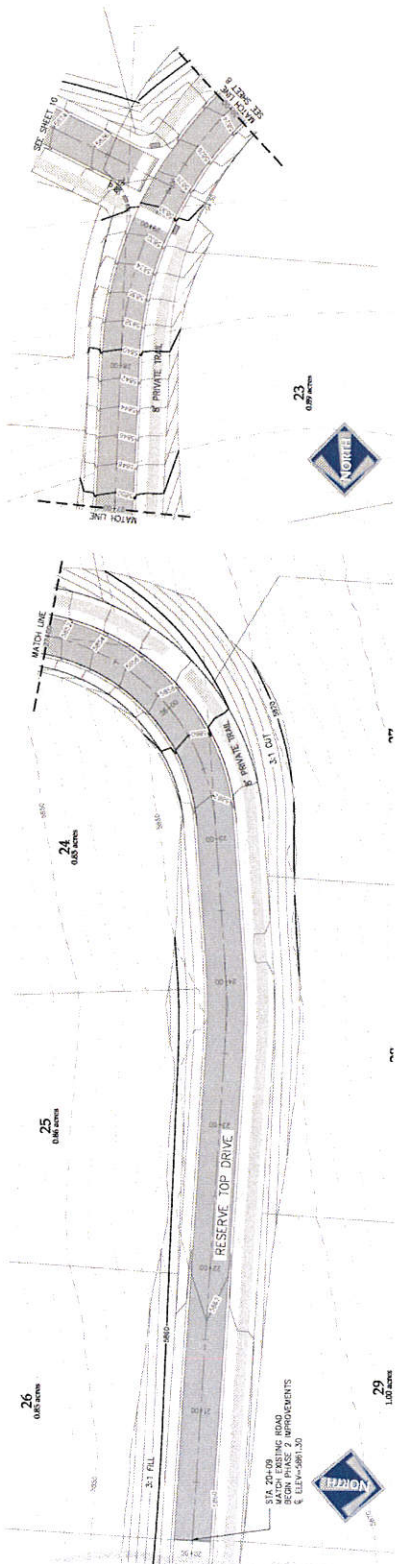
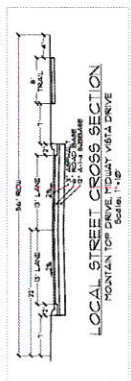


DESIGN BY: PJB DATE: 12 MAY 2021 SHEET: 0  
 DRAWN BY: DJG REV:

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 PAUL J. BERG, P.E.  
 PROJECT MANAGER  
 DATE: 12 MAY 2021



REF OF A-1-3 SURBASE MATERIAL IS REQUIRED FOR THIS PROJECT. HOWEVER PER THE GEOTECHNICAL REPORT SOME AREAS OF THE PROJECT MAY BE REINFORCED WITH GEOTEXTILES. SOIL TESTING THE SURBASE SECTION MAY BE REDUCED WITH APPROVAL FROM THE CITY ENGINEER.



**BLUE SHIELD NOTE:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR BLUE STAMPING OF ALL APPROACHES AND MAY BE REQUIRED TO OBTAIN A BLUE STAMP FROM THE CITY ENGINEER.  
 THE CONTRACTOR IS RESPONSIBLE FOR BLUE STAMPING OF ALL APPROACHES AND MAY BE REQUIRED TO OBTAIN A BLUE STAMP FROM THE CITY ENGINEER.

**NOTES:**  
 1. ALL ROAD CONSTRUCTION SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.

**LEGEND:**  
 STREET LIGHT  
 STOP & STREET SIGN  
 ADA RAMP  
 PROPOSED ASPHALT

**SCALE: 1"=40'**

KIRK MALMROSE  
 RESERVE TOP DRIVE  
 STA. 20+00 TO 30+00

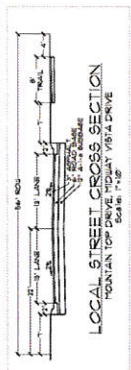
**BERG ENGINEERING**  
 201 E. MAIN ST., SUITE 204  
 WASHINGTON, NC 27583  
 TEL: 919.733.8800  
 FAX: 919.733.8801

DESIGNED BY: KMB  
 DRAWN BY: JDD  
 DATE: 11/01/2021  
 SHEET: 7

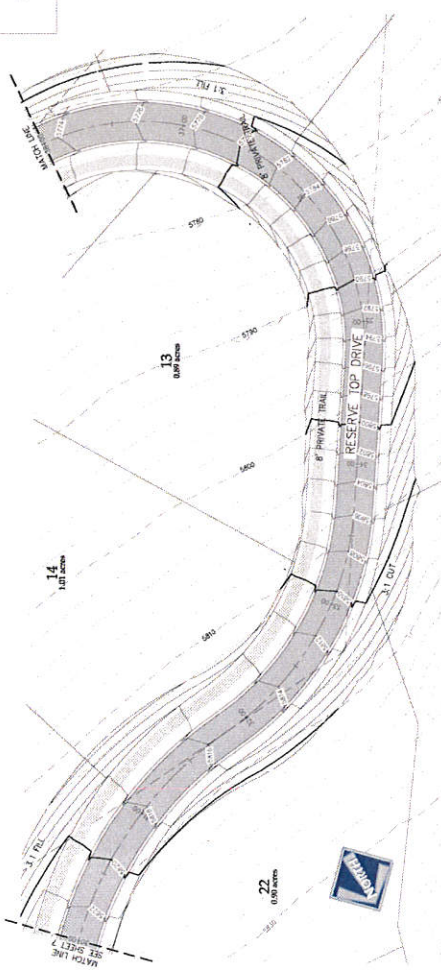
BLUE SCALE NOTE:  
 ALL DIMENSIONS UNLESS OTHERWISE NOTED ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE.  
 CONTRACTOR IS RESPONSIBLE FOR BLUE STAMPING OF CHANGES.

NOTES:  
 1. ALL ROAD CONSTRUCTION SHALL MEET MINWAY CITY STANDARDS AND SPECIFICATIONS.

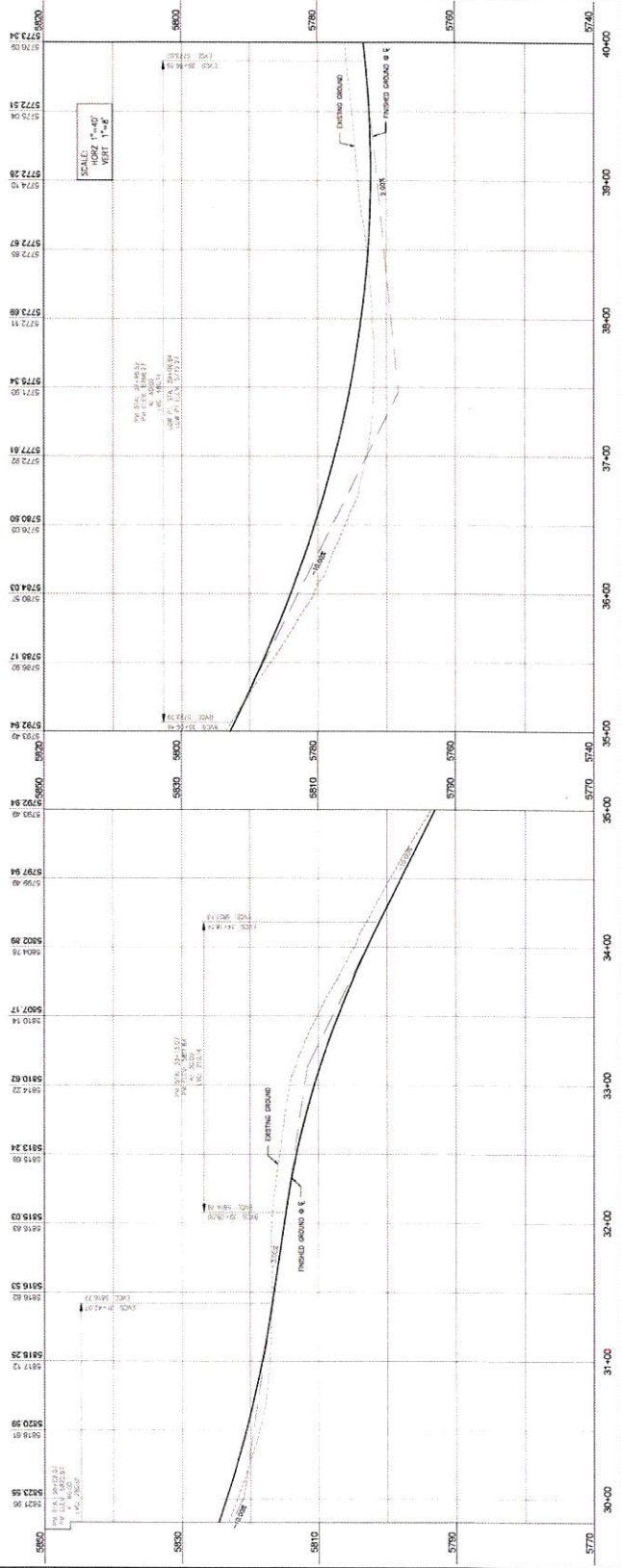
LEGEND:  
 STREET LIGHT  
 STOP & STREET SIGN  
 ADA COMPL.  
 PROPOSED ASPHALT



IF OF A-1-a SUBBASE MATERIAL IS REQUIRED FOR THIS PROJECT, HOWEVER, RESULTS OBTAINING FROM CONSTRUCTION SITE APPROVALS WITH THE CITY ENGINEER AND ADDITIONAL SOIL TESTING THE SUBBASE SECTION MAY BE REDUCED WITH APPROVAL FROM THE CITY ENGINEER.



5788.06 EXISTING ELEV  
 5773.34



KIRK MALJAROSE  
 THE RESERVE AT MIDWAY  
 RESERVE TOP DRIVE  
 STA 30+00 TO 40+00

**BERG ENGINEERING**  
 200 E MAIN ST, SUITE 204  
 DENVER, CO 80202  
 PH: 303.733.8777  
 FAX: 303.733.8778

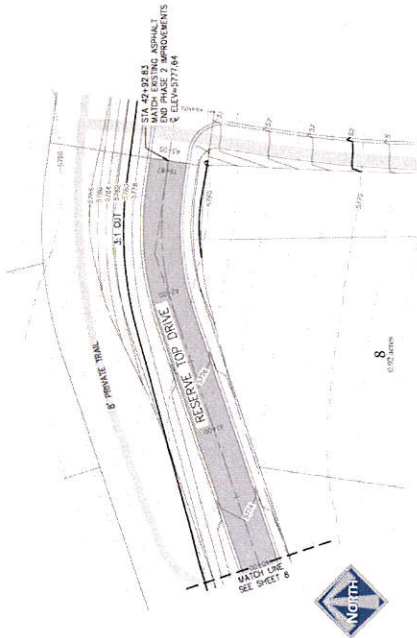
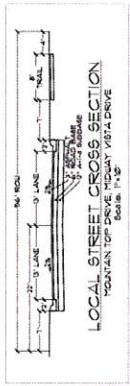
DESIGNED BY: KIRK MALJAROSE  
 DRAWN BY: JED  
 DATE: 11/20/2011  
 REV: 8

**BULE STAKE NOTE:**  
 LOCATION OF EXISTING UTILITIES SHOWN ON PLAN  
 CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF  
 UTILITIES.

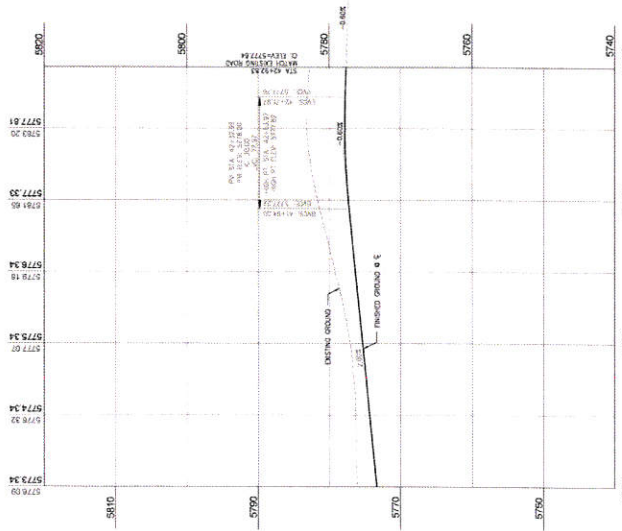
**NOTES:**  
 1. ALL ROAD CONSTRUCTION SHALL MEET MINWAY CITY  
 STANDARDS AND SPECIFICATIONS.

**LEGEND:**  
 4% A STREET LIGHT  
 4% A ADJ. RAMP/STREET SIGN  
 4% A PROPOSED ASPHALT

FOR ALL UTILITIES, CONTRACTOR IS RESPONSIBLE FOR THIS PROJECT. HOWEVER,  
 IF A GEOTECHNICAL REPORT SHOWS SOME AREAS OF THE PROJECT MAY BE  
 REQUIRED DURING CONSTRUCTION BE INSPECTIONS WITH THE CITY ENGINEER.  
 ANY ADJUSTMENTS TO THE PROPOSED SECTION MAY BE REQUIRED WITH  
 APPROVAL FROM THE CITY ENGINEER.



5799.66 EXISTING ELEV  
 5791.18 PROPOSED ELEV



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**KIRK MALMROSE**  
**THE RESERVE AT MIDWAY**  
**RESERVE TOP DRIVE**  
**STA 40+00 to 42+92.83**

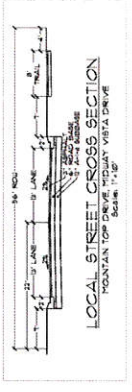
**BERG ENGINEERING**  
 1000 N. GARDNER STREET  
 SUITE 100  
 MURFREESBORO, TN 37132  
 (615) 895-1949  
 (615) 895-1947  
 (615) 895-1948

DESIGN BY: DMB  
 DRAWN BY: JEB  
 DATE: 12 MAY 2021  
 SHEET: 9

**BLUE SHADE NOTATION:** INDICATES UTILITY CROSSINGS ON PLAN  
 • CONTRACTOR IS RESPONSIBLE FOR BLUE SHADING OF UTILITIES.

- NOTES:**
1. ALL ROAD CONSTRUCTION SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.

- LEGEND:**
- STREET LIGHT
  - STOP & STREET SIGN
  - ADA RAMPS
  - PROPOSED ASPHALT



10" OF A-1.5 SUBGRADE MATERIAL IS REQUIRED FOR THIS PROJECT. HOWEVER, THE SUBGRADE SHALL BE CONFORMANT WITH THE CITY ENGINEER'S REQUIREMENTS. DURING CONSTRUCTION, THE INSPECTIONS WITH THE CITY ENGINEER SHALL BE REQUIRED. THE SUBGRADE SECTION MAY BE REDDED WITH APPROVAL FROM THE CITY ENGINEER.

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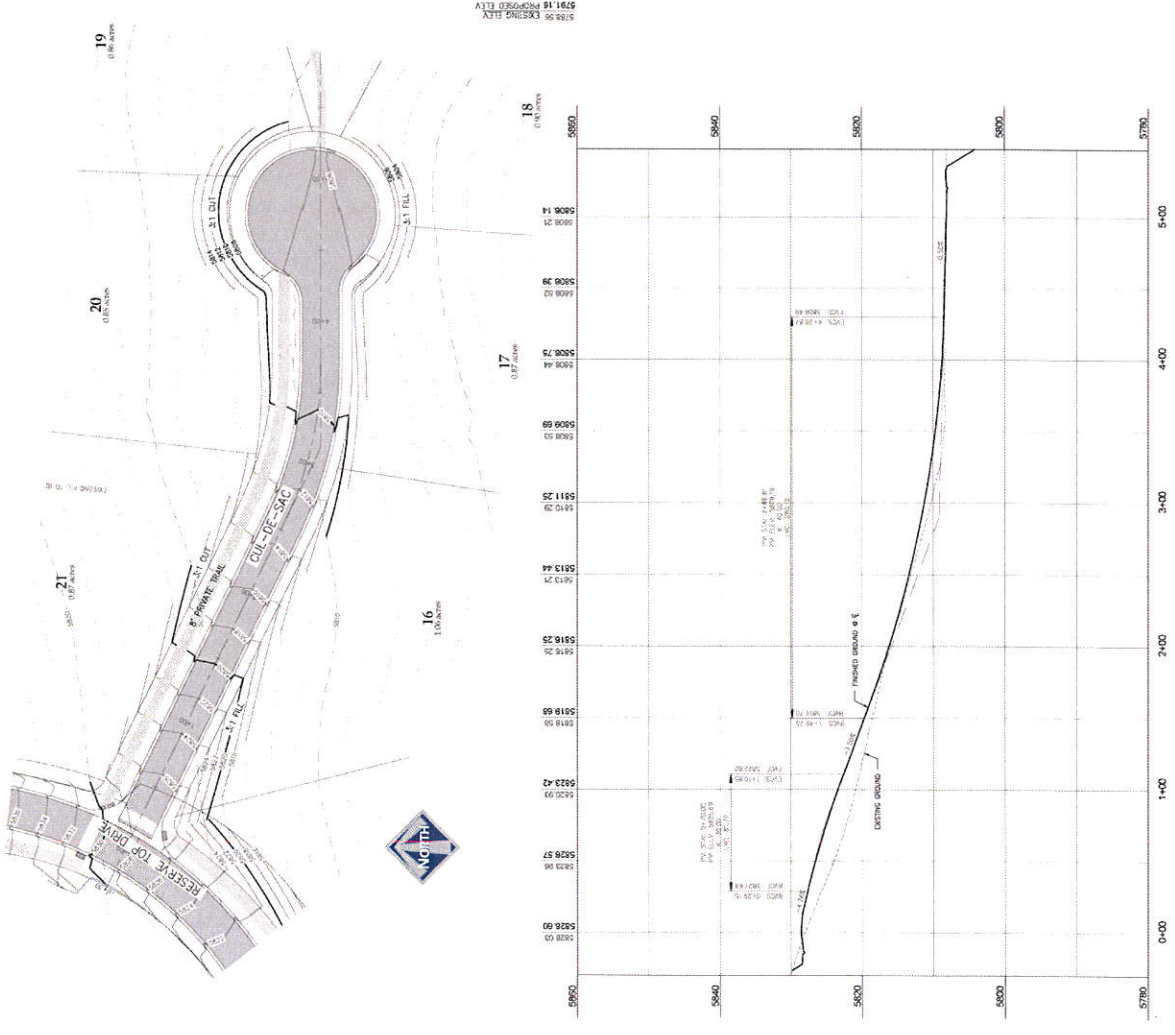


KIRK MALAROSE  
 THE RESERVE AT MIDWAY

CUL-DE-SAC  
 STA 0+00 TO 5+00



PROJECT NO.	DATE	SHEET NO.
DRWNS/RY/DEI	10/15/2021	10







THIS DOCUMENT IS COMPLETE FOR ALL PURPOSES AND SHALL BE RESPONSIBLE FOR ALL INFORMATION CONTAINED HEREIN. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN OF THE UTILITY SYSTEMS SHOWN ON THIS PLAN.

EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. THE ENGINEER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND HAS FOUND NO DISCREPANCIES BETWEEN THE AS-BUILT RECORD DRAWINGS AND THOSE SHOWN ON THIS PLAN.

KIRK MALMROSE  
THE RESERVE AT MIDWAY  
PHASE 2 UTILITY PLAN



BERG ENGINEERING  
3001 N. 14TH ST., SUITE 200  
MILWAUKEE, WI 53212  
PHONE: 414.353.9200  
FAX: 414.353.9201

DESIGN NO. 1909 DATE: 11 MAY 2017 SHEET 12  
DRAWN BY: DDE REV.





LEGEND:

- EXISTING SEWER TO REMAIN
- EXISTING SEWER TO BE REMOVED
- PROPOSED 8\"/>

NOTES:

1. ALL EXISTING SEWER LINES SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
2. ALL EXISTING SEWER LINES SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
3. ALL EXISTING SEWER LINES SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
4. ALL EXISTING SEWER LINES SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
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27. ALL EXISTING SEWER LINES SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
28. ALL EXISTING SEWER LINES SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
29. ALL EXISTING SEWER LINES SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.



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KIRK MALMROSE  
**THE RESERVE AT MIDWAY**  
 PHASE 2 SEWER PLAN

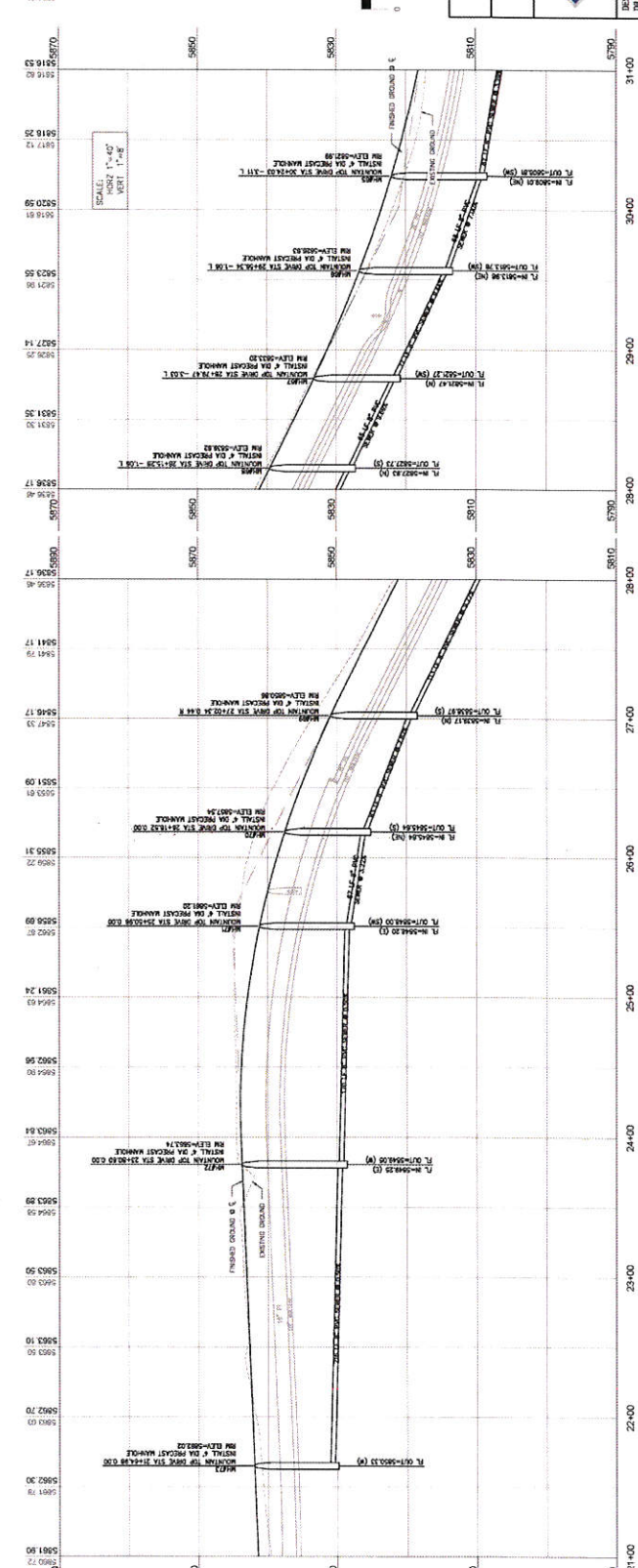
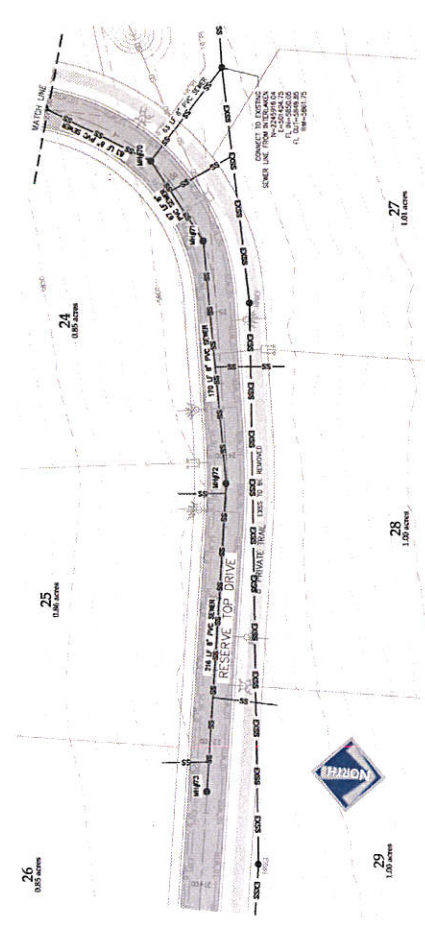
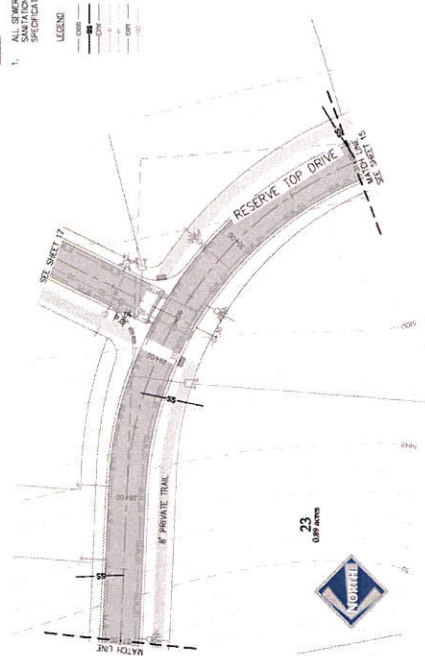


ISSUED FOR: PHASE 2 SEWER PLAN  
 DATE: 12 MAY 2021  
 DRAWN BY: JED  
 REV: 13

**BELLE STAGE, INC.**  
 BELLE STAGE, INC. IS PROVIDING UTILITIES SHOWN ON PLAN  
 ARE APPROXIMATE AND MAY BE INCOMPLETE.  
 CONTRACTOR IS RESPONSIBLE FOR BELIEVING OF  
 UTILITIES.

**NOTES:**  
 1. ALL NEW CONSTRUCTION SHALL MEET MARYLAND  
 SANITARY COLLECTION STANDARDS AND  
 SPECIFICATIONS.

- LEGEND**
- EXISTING DRIVE
  - EXISTING 8" S.W. SEWER
  - EXISTING WATER
  - PROPOSED PRESSURIZED IRRIGATION
  - EXISTING PRESSURIZED IRRIGATION
  - PROPOSED STORM DRAIN



**KIRK MALIBROSE**  
 THE RESERVE AT MIDWAY  
 RESERVE TOP DRIVE SEWER  
 STA 5110.00 TO 5111.00

**BERG ENGINEERING**  
 300 E. MAIN ST., SUITE 204  
 ANNAPOLIS, MD 21403  
 PH: 410.291.9799

DESIGNED BY: KMS DATE: 05/14/2011 SHEET  
 DRAWN BY: DSI REV: 14



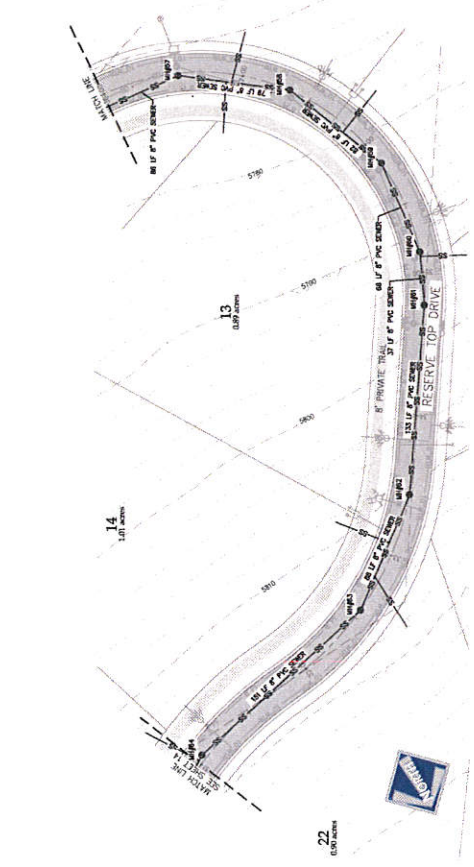
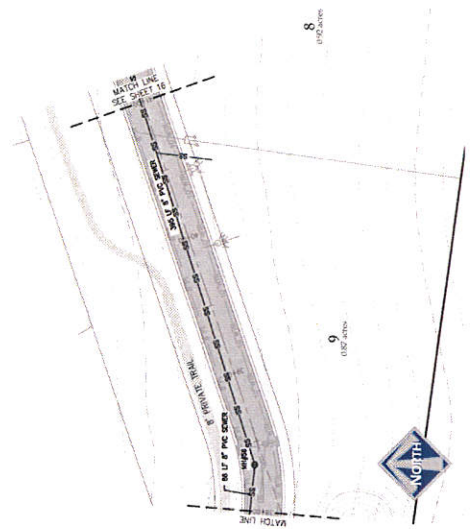
5096.00 EXISTING ELEV.  
 5091.00 PROPOSED ELEV.

PROPOSED 12" DIA. S.W. SEWER  
 PROPOSED 12" DIA. WATER  
 PROPOSED 12" DIA. STORM DRAIN  
 PROPOSED 12" DIA. IRRIGATION  
 PROPOSED 12" DIA. IRRIGATION  
 PROPOSED 12" DIA. IRRIGATION

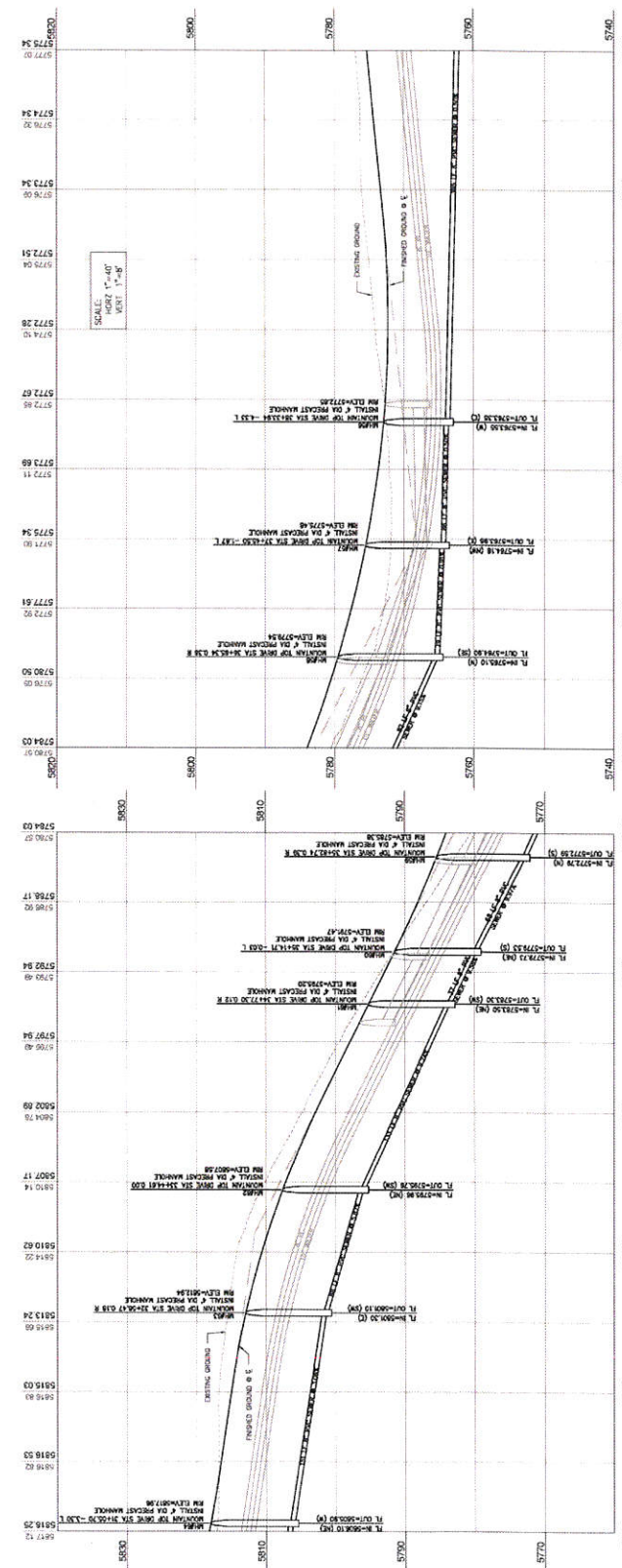
**BILL SHEAL NOTE:**  
 LOCATION OF EXISTING UTILITIES SHOWN ON PLAN  
 CONTRACTOR IS RESPONSIBLE FOR BLUE STIKING OF  
 UTILITIES.

- NOTES:**
- ALL SEWER CONSTRUCTION SHALL MEET MIDWAY  
 SANITATION DISTRICT STANDARDS AND  
 SPECIFICATIONS.

- LEGEND:**
- EXISTING SEWER
  - PROPOSED 8" SEWER
  - PROPOSED 12" WATER
  - PROPOSED PRESSURIZED IRRIGATION
  - PROPOSED 3" DOWN DRAIN
  - PROPOSED 12" WATER
  - PROPOSED ASPHALT



5781.24 PROPOSED ELEV  
 5775.34



**KIRK MALMROSE**  
**THE RESERVE AT MIDWAY**  
**RESERVE TOP DRIVE SEWER**  
 STA. 31+00 to 41+00

**BERG ENGINEERING**  
 10000 Midway  
 Midway, UT 84057  
 PH: 801-225-9999

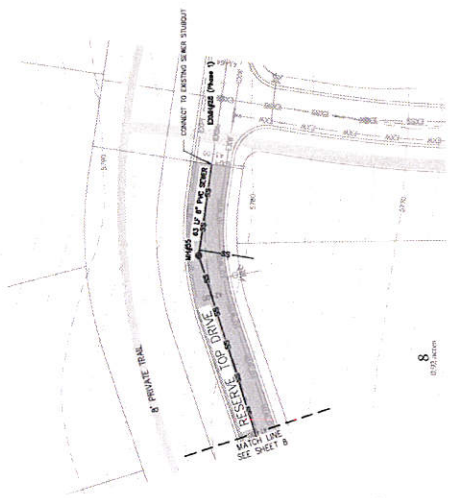
DESIGNER: TMB DATE: 12/01/2011 SHEET NO.: 15

**BLUE STAKE NOTE:** THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THIS PLAN AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

- NOTES:**
1. ALL SEWER CONSTRUCTION SHALL MEET MIDWAY SPECIFICATIONS, STANDARDS AND SPECIFICATIONS.

**LEGEND**

	EXISTING 24" S.W.
	EXISTING 18" S.W.
	EXISTING WATER
	PROPOSED PRESSURIZED IRRIGATION
	EXISTING PRESSURIZED IRRIGATION
	FIRE HYDRANT
	PROPOSED ASPHALT



5791.18 PROPOSED ELEV.



<p>KIRK MALMROSE THE RESERVE AT MIDWAY</p>	
<p>RESERVE TOP DRIVE SEWER STA 41+00 to 42+92.33</p>	
<p>REVISION: 010 DRAWN BY: JRM</p>	<p>DATE: 05/15/2024 SHEET: 16</p>

BELOW GRADE. ALL EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. THE USER IS RESPONSIBLE FOR BILLING STAKING OF UTILITIES.

- NOTES:
1. ALL SEWER CONSTRUCTION SHALL MEET MURRAY SANITATION DISTRICT STANDARDS AND SPECIFICATIONS.

LEGEND

---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER
---	PROPOSED 8" WATER
---	PROPOSED 12" WATER
---	EXISTING INSURANCE IRRIGATION
---	EXISTING INSURANCE IRRIGATION
---	EXISTING UTILITY DESIGN
---	PH
---	ADA MAPPING
---	PROPOSED ASPHALT

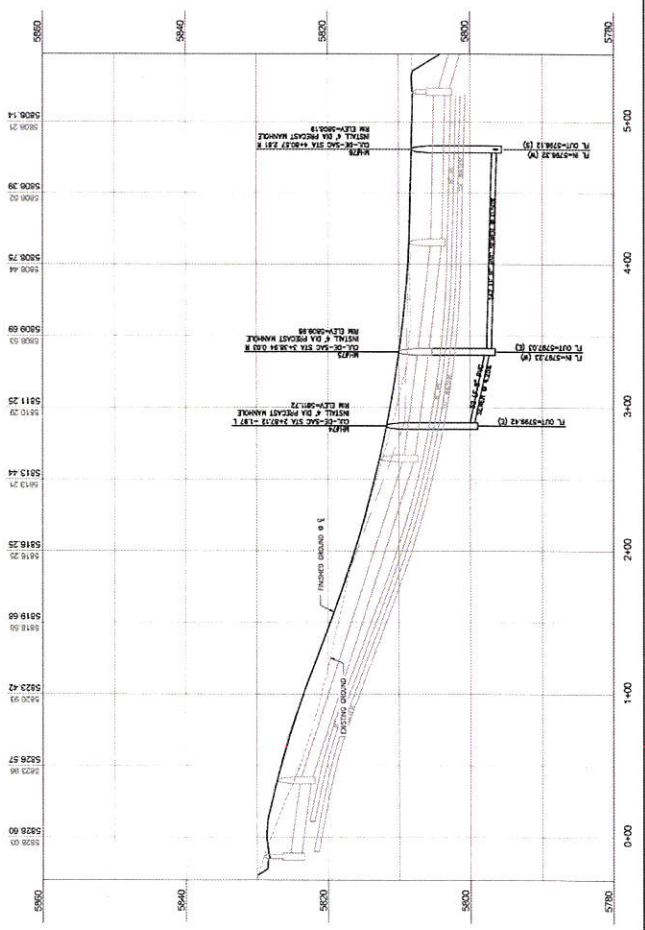
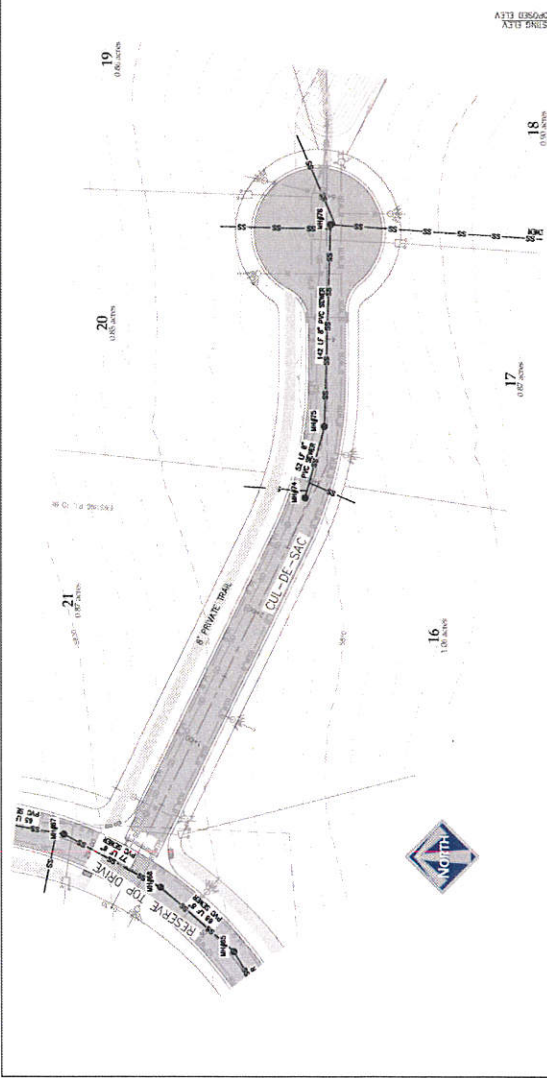
DATE: 11/15/2017  
 DRAWN BY: J. M. [unreadable]  
 CHECKED BY: J. M. [unreadable]  
 PROJECT NO.: 17-001  
 SHEET NO.: 17



KIRK MALBROSSE  
 THE RESERVE AT MIDWAY  
 CUL-DE-SAC SEWER  
 STA 0+00 TO 5+00

**BERG ENGINEERING**  
 200 E MAIN ST. SUITE 200  
 DENVER, CO 80202  
 PH 303.733.7779

DESIGN BY: JMB DATE: 11 MAY 2017 SHEET: 17  
 DRAWN BY: JMB REV:







LEGEND:

- 12" W.P. PROPOSED 12" WATER
- EXISTING WATER (MATERIAL)
- EXISTING WATER (EQUIVALENT)
- FIRE HYDRANT
- WATER METER

- COLORADO WATER INDICES: AMERICAN'S SWAL
  - WEST MIDWAY 27TH STANDARD AND
  - SPECIFICATION MARKING MAN, BRAL, BR, WPPS
  - 2000 DRIVE BR, BUR
- BLUE SHIMS: NONE
- LOCATION OF ASKING UTILITIES SHOWN UNLESS OTHERWISE INDICATED. CONTRACTOR IS RESPONSIBLE FOR BUR STAKING OF UTILITIES.

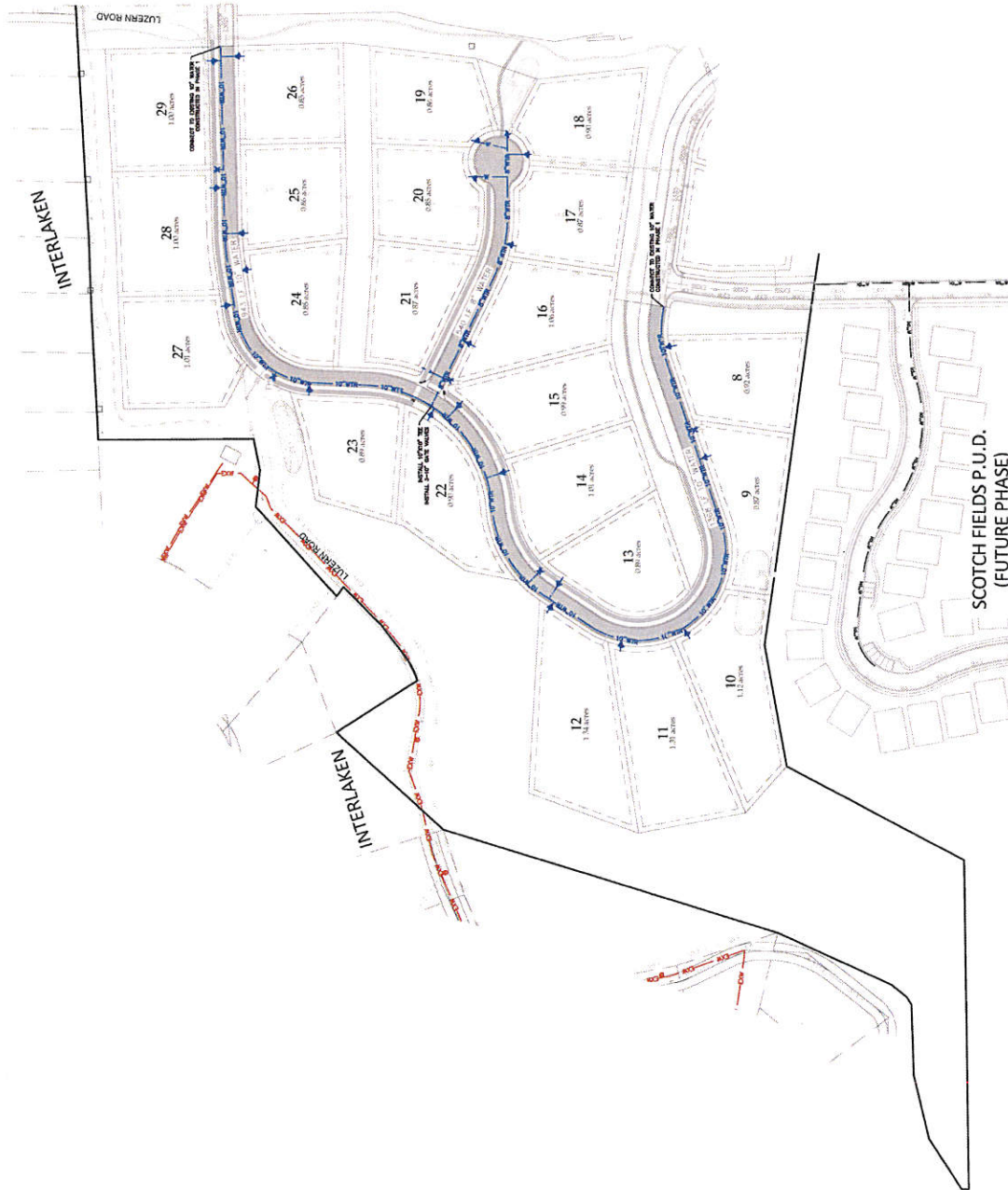
KIRK MARMOROSE  
PROJECT ENGINEER  
1001 15TH AVENUE, SUITE 100  
DENVER, COLORADO 80202  
PHONE: 303.733.8855  
FAX: 303.733.8855  
EMAIL: KIRK.MARMOROSE@BERG-ENGINEERING.COM

KIRK MARMOROSE  
THE RESERVE AT MIDWAY

PHASE 2 WATER PLAN

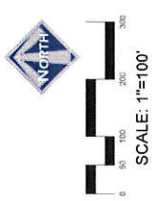


DESIGN BY: KRM DATE: 12 MAY 2001 SHEET  
DRAWN BY: DEJ REV: 19



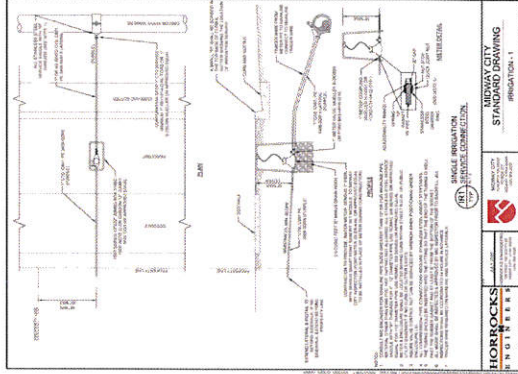
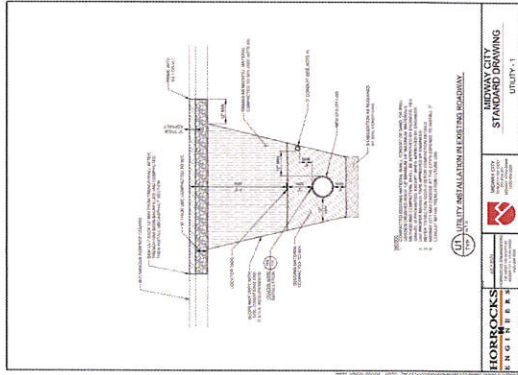
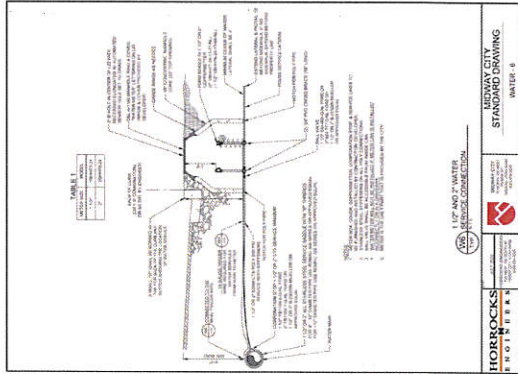
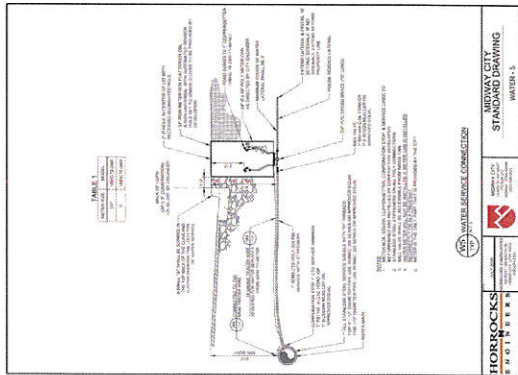
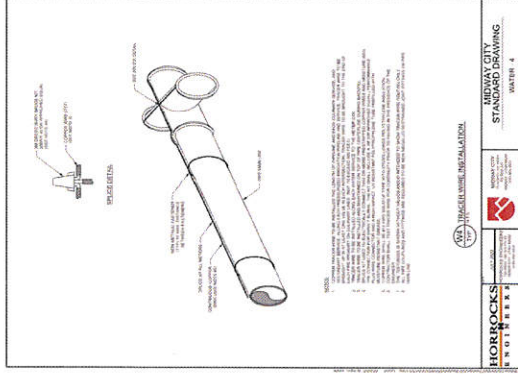
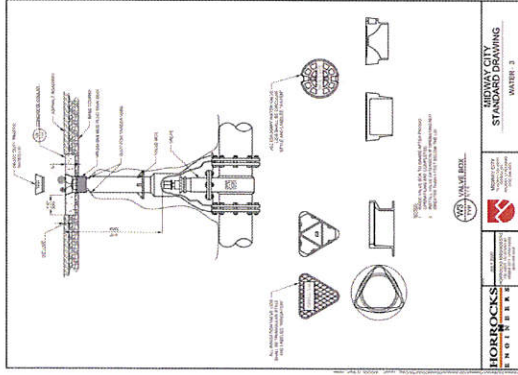
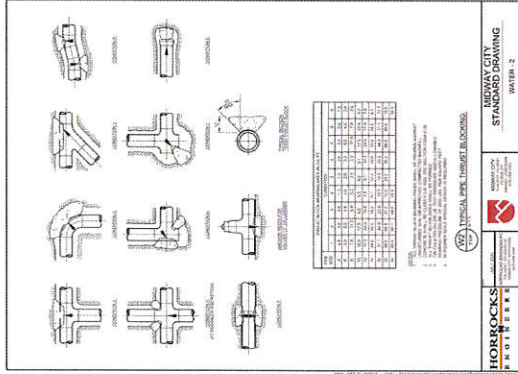
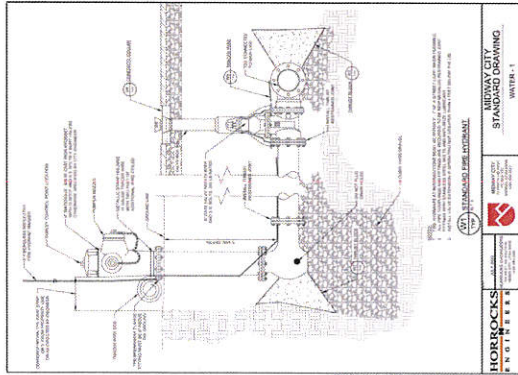
- LEGEND**
- 6" EXISTING PRESSURIZED IRRIGATION TO REMAIN
  - 6" EXISTING PRESSURIZED IRRIGATION TO BE REMOVED
  - PROPOSED 6" PRESSURIZED IRRIGATION (MIDWAY IRRIGATION)
  - PROPOSED 6" PRESSURIZED IRRIGATION (MIDWAY IRRIGATION)
  - REMOVE AND DISPOSE OF EXISTING PIPE

- PRESSURIZED IRRIGATION NOTES:**
- ALL PRESSURIZED IRRIGATION IMPROVEMENTS SHALL BE INSTALLED BY THE CONTRACTOR
  - SADDLES AND SUTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION CONTRACT MANUAL
  - ANY GROUND WATER PROBLEMS SHALL BE DEALT WITH BY THE CONTRACTOR
  - ALL IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION CONTRACT MANUAL
  - LOCATION OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND MAY VARY FROM AS SHOWN ON THE RECORD DRAWINGS
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES ON THE SITE BEFORE CONSTRUCTION BEGINS



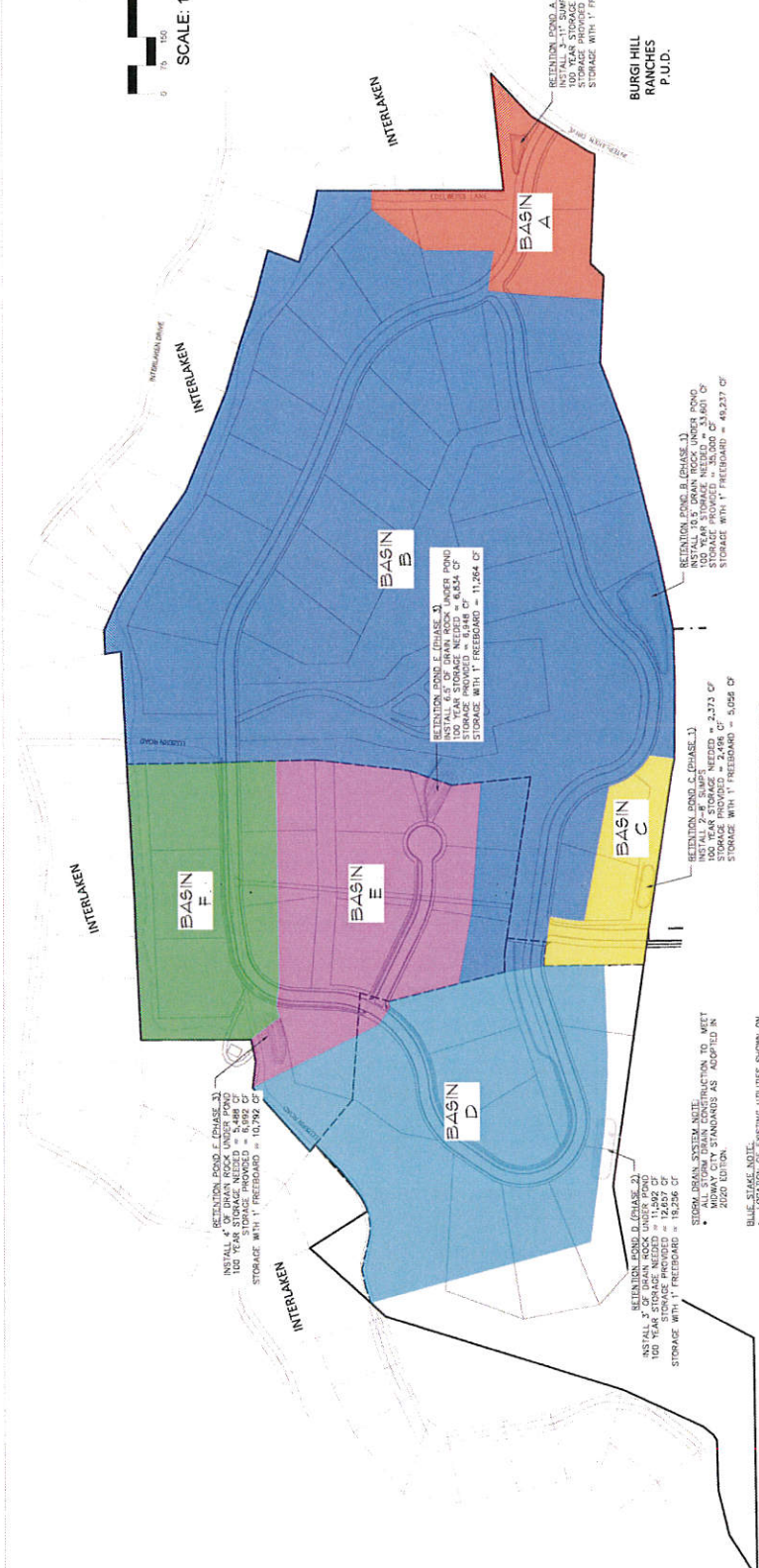
THIS DOCUMENT IS UNCLASSIFIED  
 EXCEPT WHERE SHOWN OTHERWISE  
 DATE 12 MAY 2021 BY 12345







SCALE: 1"=150'



RETENTION POND A (PHASE 1)  
INSTALL 3" x 12" SUMP  
100 YEAR STORAGE NEEDED = 3,811 C<sup>3</sup>  
STORAGE WITH 1" FREEBOARD = 6,360 C<sup>3</sup>

BURGI HILL RANCHES P.U.D.

RETENTION POND B (PHASE 1)  
INSTALL 3" x 12" SUMP  
100 YEAR STORAGE NEEDED = 53,400 C<sup>3</sup>  
STORAGE PROVIDED = 55,000 C<sup>3</sup>  
STORAGE WITH 1" FREEBOARD = 49,237 C<sup>3</sup>

RETENTION POND C (PHASE 1)  
INSTALL 3" x 12" SUMP  
100 YEAR STORAGE NEEDED = 3,273 C<sup>3</sup>  
STORAGE PROVIDED = 2,498 C<sup>3</sup>  
STORAGE WITH 1" FREEBOARD = 5,026 C<sup>3</sup>

PHASES A, B & C TO BE BUILT WITH PHASE 1

RETENTION POND D (PHASE 2)  
INSTALL 4" DE DRAIN ROCK UNDER POND  
100 YEAR STORAGE NEEDED = 11,242 C<sup>3</sup>  
STORAGE PROVIDED = 12,527 C<sup>3</sup>  
STORAGE WITH 1" FREEBOARD = 10,793 C<sup>3</sup>

RETENTION POND E (PHASE 2)  
INSTALL 4" DE DRAIN ROCK UNDER POND  
100 YEAR STORAGE NEEDED = 5,492 C<sup>3</sup>  
STORAGE PROVIDED = 6,027 C<sup>3</sup>  
STORAGE WITH 1" FREEBOARD = 4,743 C<sup>3</sup>

RETENTION POND F (PHASE 3)  
INSTALL 4" DE DRAIN ROCK UNDER POND  
100 YEAR STORAGE NEEDED = 10,793 C<sup>3</sup>  
STORAGE PROVIDED = 11,242 C<sup>3</sup>  
STORAGE WITH 1" FREEBOARD = 9,544 C<sup>3</sup>

STORM DRAIN SYSTEM NOTE:  
ALL STORM DRAIN CONSTRUCTION TO MEET  
MURRAY CITY STANDARDS AS ADOPTED IN  
2020 EDITION.

BLUE STAGE NOEL  
CONTRACTOR SHALL BE RESPONSIBLE FOR  
INCOMPLETE CONTRACTOR IS RESPONSIBLE  
FOR BLUE STAGING & UTILITIES.

Table 1: Storm Drainage for Retention Basin A

Drainage	Total Area	Area	Volume	Retention	Storage
Basin A	10,000	10,000	10,000	10,000	10,000

Table 2: Storm Drainage for Retention Basin B

Drainage	Total Area	Area	Volume	Retention	Storage
Basin B	100,000	100,000	100,000	100,000	100,000

Table 3: Storm Drainage for Retention Basin C

Drainage	Total Area	Area	Volume	Retention	Storage
Basin C	10,000	10,000	10,000	10,000	10,000

Table 4: Storm Drainage for Retention Basin D

Drainage	Total Area	Area	Volume	Retention	Storage
Basin D	10,000	10,000	10,000	10,000	10,000

Table 5: Storm Drainage for Retention Basin E

Drainage	Total Area	Area	Volume	Retention	Storage
Basin E	10,000	10,000	10,000	10,000	10,000

Table 6: Storm Drainage for Retention Basin F

Drainage	Total Area	Area	Volume	Retention	Storage
Basin F	10,000	10,000	10,000	10,000	10,000

Table 7: Storm Drainage for Retention Basin A

Drainage	Total Area	Area	Volume	Retention	Storage
Basin A	10,000	10,000	10,000	10,000	10,000

Table 8: Storm Drainage for Retention Basin B

Drainage	Total Area	Area	Volume	Retention	Storage
Basin B	100,000	100,000	100,000	100,000	100,000

Table 9: Storm Drainage for Retention Basin C

Drainage	Total Area	Area	Volume	Retention	Storage
Basin C	10,000	10,000	10,000	10,000	10,000

Table 10: Storm Drainage for Retention Basin D

Drainage	Total Area	Area	Volume	Retention	Storage
Basin D	10,000	10,000	10,000	10,000	10,000

Table 11: Storm Drainage for Retention Basin E

Drainage	Total Area	Area	Volume	Retention	Storage
Basin E	10,000	10,000	10,000	10,000	10,000

Table 12: Storm Drainage for Retention Basin F

Drainage	Total Area	Area	Volume	Retention	Storage
Basin F	10,000	10,000	10,000	10,000	10,000

KIRK MALMROSE  
THE RESERVE AT MIDWAY  
STORM DRAIN  
MASTER PLAN

BERG ENGINEERING  
300 E. MAIN ST. SUITE 200  
MURRAY, KY 40341  
PH: 502.875.2799

ISSUED FOR: DATE: 12 MAY 2021  
DRAWN BY: REV: 22

BEFORE BEING USED. THE ENGINEERING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE LOCATION AND DEPTH OF UTILITIES.

NOTES:

- 1. ALL STORM DRAIN CONSTRUCTION SHALL MEET ALL CITY STANDARDS AND SPECIFICATIONS.

LEGEND:

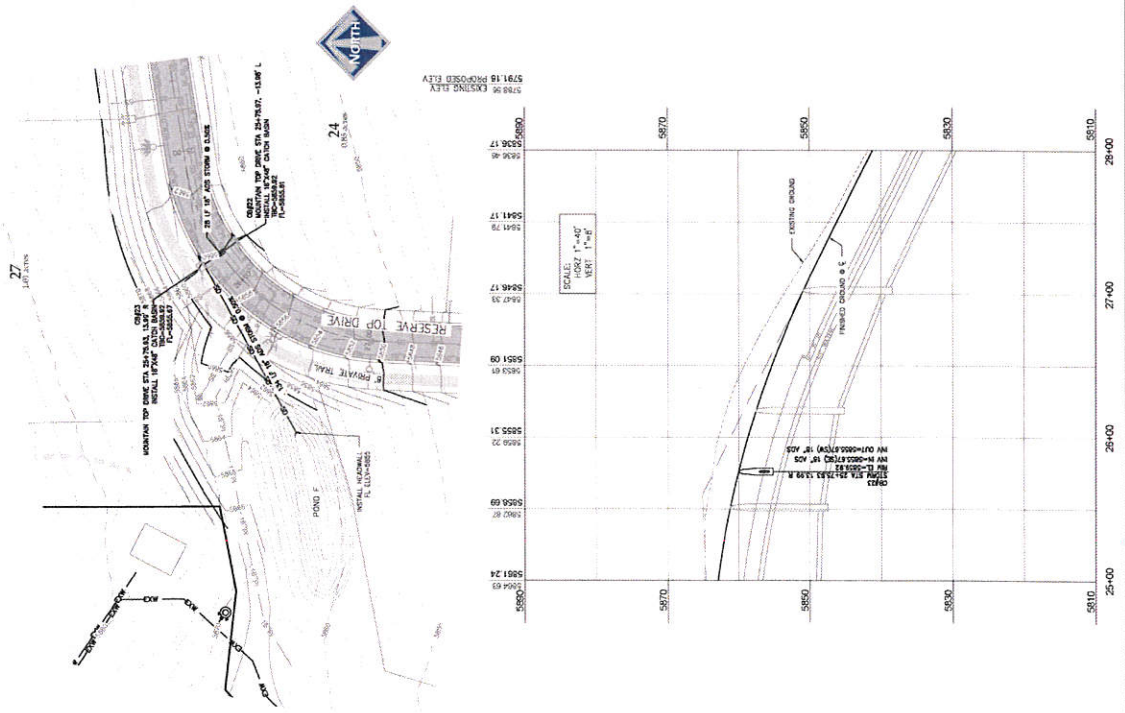
- EXISTING SEWER
- PROPOSED 8" SEWER
- EXISTING WATER
- PROPOSED 12" WATER
- PROPOSED PRESSURIZED IRRIGATION
- EXISTING STORM DRAIN
- PROPOSED 12" STORM DRAIN
- PH
- PROPOSED ASPHALT

DATE: 12 MAY 2021  
 DRAWN BY: JBD  
 CHECKED BY: JBD  
 PROJECT NO.: 21-001  
 SHEET NO.: 23



SCALE: 1"=40'

KIRK MALABROSE THE RESERVE AT MIDWAY	
RESERVE TOP DRIVE STORM FOND I STA. 25+75	
<b>BERG ENGINEERING</b>	
300 E MAPLE ST., SUITE 204 MIDWAY, MO 64579 PH: 417.457.9749	
DESIGNED BY: JBD	DATE: 12 MAY 2021
DRAWN BY: JBD	REV: <b>23</b>



**BILL STAKE NOTE:**  
 ALL STAKE NOTES ARE TO BE PLACED IN THE FIELD OF THE DRAWING. THE CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

- NOTES:**
- ALL STORM DRAIN CONSTRUCTION SHALL MEET METRO CITY STANDARDS AND SPECIFICATIONS.

**LEGEND**

(Symbol)	EXISTING SEWER
(Symbol)	PROPOSED 8" SEWER
(Symbol)	PROPOSED 8" WATER
(Symbol)	PROPOSED 18" WATER
(Symbol)	EXISTING PRESSURIZED SEWER
(Symbol)	PROPOSED STORM DRAIN
(Symbol)	PROPOSED ASPHALT

5791.13 PROPOSED ELEV.  
 5792.56 EXISTING ELEV.

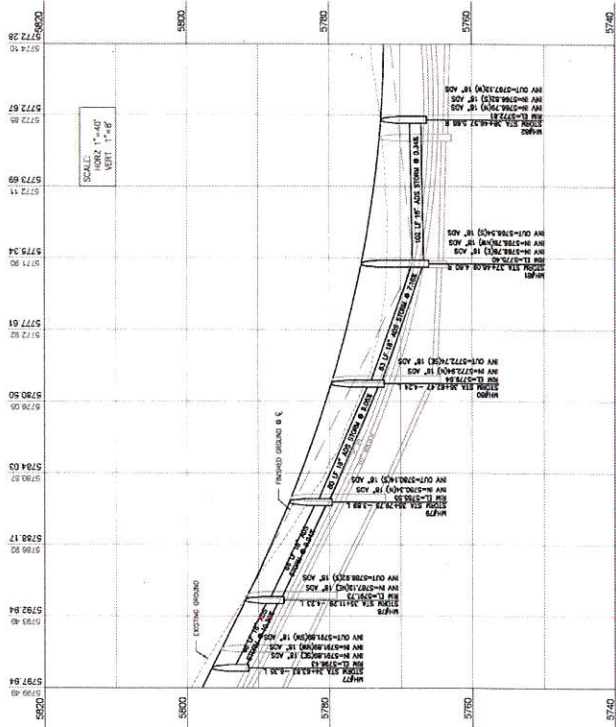
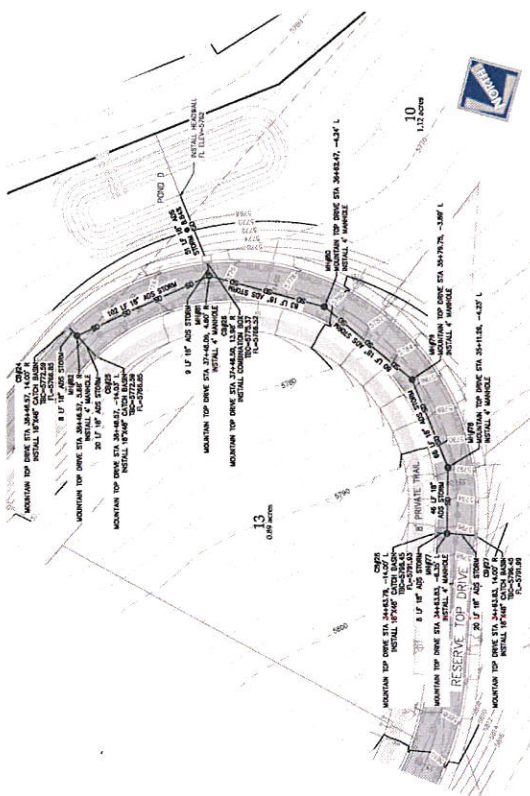
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 BERG ENGINEERING, INC.  
 10000 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 PHONE: 303.755.1111  
 FAX: 303.755.1112  
 WWW.BERG-ENG.COM



**KIRK MALMROSE**  
**THE RESERVE AT MIDWAY**  
**RESERVE TOP DRIVE**  
**STORM POND D STA. 34+50 TO 38+50**



DESIGNED BY:	DATE:	SHEET NO.:
MM	1/21/11	24

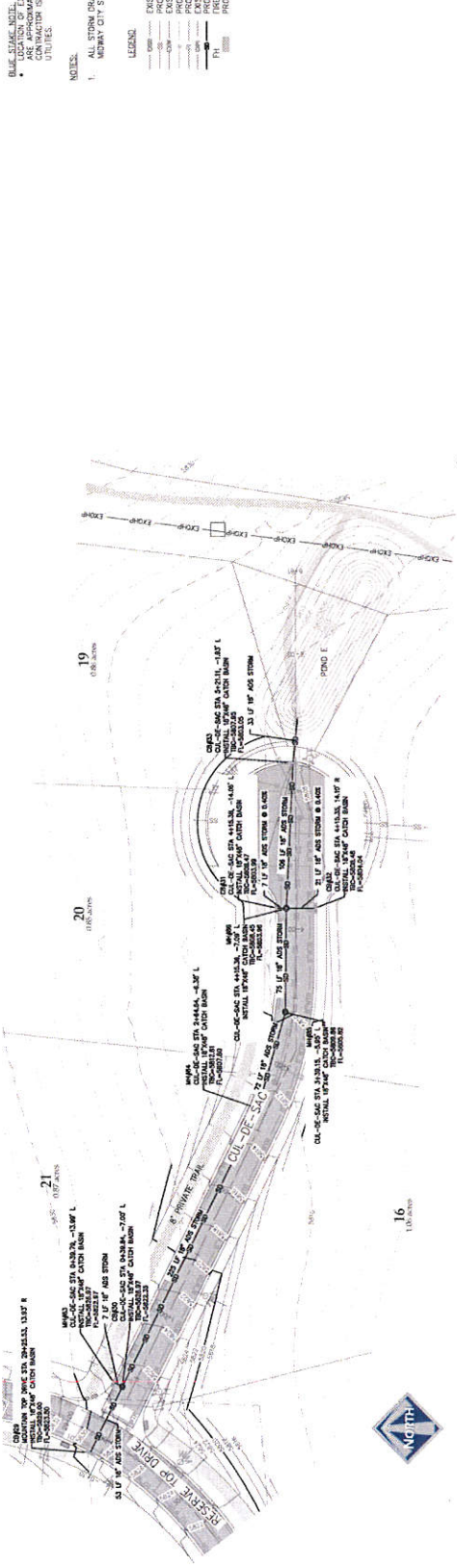


**BLUE STATE NOTE:**  
 1. ALL STORM DRAIN CONSTRUCTION SHALL MEET MINNAPOTA CITY STANDARDS AND SPECIFICATIONS.

**NOTES:**  
 1. ALL STORM DRAIN CONSTRUCTION SHALL MEET MINNAPOTA CITY STANDARDS AND SPECIFICATIONS.

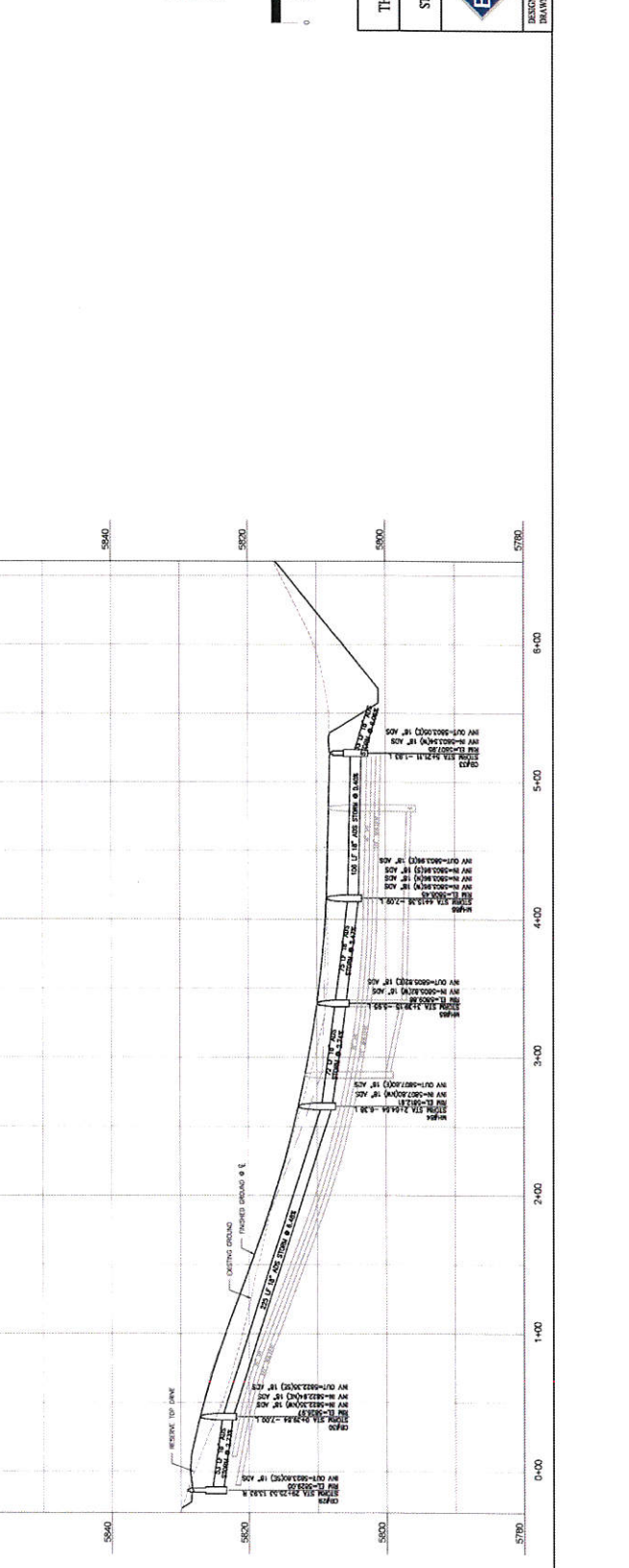
- LEGEND:**
- EXISTING SEWER
  - EXISTING WATER
  - PROPOSED 8" WATER
  - EXISTING PRESSURIZED IRRIGATION
  - EXISTING PRESSURIZED IRRIGATION
  - EXISTING STORM DRAIN
  - PROPOSED ASPHALT

5788.95 EXISTING ELEV  
 5791.18 PROPOSED ELEV



16  
 10  
 20  
 21

5790 0+00  
 5788.00 1+00  
 5786.00 2+00  
 5784.00 3+00  
 5782.00 4+00  
 5780.00 5+00  
 5778.00 6+00  
 5776.00 7+00  
 5774.00 8+00  
 5772.00 9+00  
 5770.00 10+00  
 5768.00 11+00  
 5766.00 12+00  
 5764.00 13+00  
 5762.00 14+00  
 5760.00 15+00  
 5758.00 16+00  
 5756.00 17+00  
 5754.00 18+00  
 5752.00 19+00  
 5750.00 20+00



FOR APPROVAL OF THE CITY ENGINEER AND THE BOARD OF SUPERVISORS OF THE COUNTY OF SAN DIEGO, THE CITY OF SAN DIEGO, CALIFORNIA.  
 DATE: 03/20/2018  
 DRAWN BY: J. MALHOTRA  
 CHECKED BY: J. MALHOTRA



KIRK MALHOTRA  
 THE RESERVE AT MIDWAY  
 CUL-DE-SAC  
 STORM POND ESTIMATION

**BERG ENGINEERING**  
 380 E MAIN ST. SUITE 204  
 SAN DIEGO, CA 92101  
 PH: 619.594.8900  
 FAX: 619.594.8901

DRAWN BY: JMB  
 DATE: 03/20/2018  
 SHEET: 25





THIS DOCUMENT IS RELAYED  
INTENDED FOR THE CONSTRUCTION  
OF THE PROJECT.  
CARL S. BURG  
SERIAL NO. 2762789  
DATE: 12.05.2017

KIRK MALMROSE  
THE RESERVE AT MIDWAY  
LANDSCAPE PLAN



3100 E. Main St., Suite 204  
Mesa, AZ 85204  
Tel: 480.945.5888  
Fax: 480.945.5889

DESIGN BY: CMR DATE: MAY 2017  
DRAWN BY: EDC  
DATE: MAY 2017

**PLANT SCHEDULE**

SCHEDULE	PLANT	QUANTITY	SIZE	SOIL	COL.	SCALE
1	Arizona Saguaro	1	12"	200L	100	3" x 3"
2	Black cholla	2	12"	200L	100	3" x 3"
3	Blue cholla	2	12"	200L	100	3" x 3"
4	Red cholla	2	12"	200L	100	3" x 3"
5	Yellow cholla	2	12"	200L	100	3" x 3"
6	Arizona Saguaro	1	12"	200L	100	3" x 3"
7	Black cholla	2	12"	200L	100	3" x 3"
8	Blue cholla	2	12"	200L	100	3" x 3"
9	Red cholla	2	12"	200L	100	3" x 3"
10	Yellow cholla	2	12"	200L	100	3" x 3"
11	Arizona Saguaro	1	12"	200L	100	3" x 3"
12	Black cholla	2	12"	200L	100	3" x 3"
13	Blue cholla	2	12"	200L	100	3" x 3"
14	Red cholla	2	12"	200L	100	3" x 3"
15	Yellow cholla	2	12"	200L	100	3" x 3"
16	Arizona Saguaro	1	12"	200L	100	3" x 3"
17	Black cholla	2	12"	200L	100	3" x 3"
18	Blue cholla	2	12"	200L	100	3" x 3"
19	Red cholla	2	12"	200L	100	3" x 3"
20	Yellow cholla	2	12"	200L	100	3" x 3"
21	Arizona Saguaro	1	12"	200L	100	3" x 3"
22	Black cholla	2	12"	200L	100	3" x 3"
23	Blue cholla	2	12"	200L	100	3" x 3"
24	Red cholla	2	12"	200L	100	3" x 3"
25	Yellow cholla	2	12"	200L	100	3" x 3"
26	Arizona Saguaro	1	12"	200L	100	3" x 3"
27	Black cholla	2	12"	200L	100	3" x 3"
28	Blue cholla	2	12"	200L	100	3" x 3"
29	Red cholla	2	12"	200L	100	3" x 3"
30	Yellow cholla	2	12"	200L	100	3" x 3"
31	Arizona Saguaro	1	12"	200L	100	3" x 3"
32	Black cholla	2	12"	200L	100	3" x 3"
33	Blue cholla	2	12"	200L	100	3" x 3"
34	Red cholla	2	12"	200L	100	3" x 3"
35	Yellow cholla	2	12"	200L	100	3" x 3"
36	Arizona Saguaro	1	12"	200L	100	3" x 3"
37	Black cholla	2	12"	200L	100	3" x 3"
38	Blue cholla	2	12"	200L	100	3" x 3"
39	Red cholla	2	12"	200L	100	3" x 3"
40	Yellow cholla	2	12"	200L	100	3" x 3"
41	Arizona Saguaro	1	12"	200L	100	3" x 3"
42	Black cholla	2	12"	200L	100	3" x 3"
43	Blue cholla	2	12"	200L	100	3" x 3"
44	Red cholla	2	12"	200L	100	3" x 3"
45	Yellow cholla	2	12"	200L	100	3" x 3"
46	Arizona Saguaro	1	12"	200L	100	3" x 3"
47	Black cholla	2	12"	200L	100	3" x 3"
48	Blue cholla	2	12"	200L	100	3" x 3"
49	Red cholla	2	12"	200L	100	3" x 3"
50	Yellow cholla	2	12"	200L	100	3" x 3"

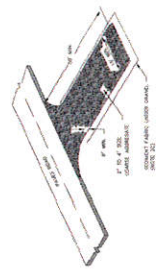
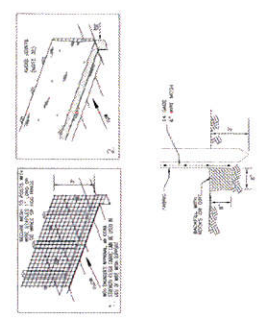
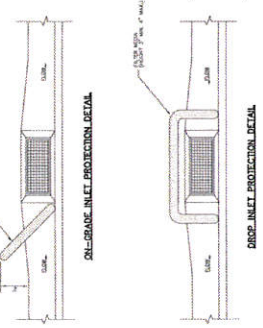
NON-IRRIGATED AREA TO BE MAINTAINED IN WILD OR AS DESTROYED

SCOTCH FIELDS P.U.D. (FUTURE PHASE)

NON-IRRIGATED AREA TO BE MAINTAINED IN WILD OR AS DESTROYED

NOTES: SEE SHEET 28 FOR THE CONSTRUCTION OF A STORM WATER COLLECTION SYSTEM. SEE SHEET 28 FOR THE CONSTRUCTION OF A STORM WATER COLLECTION SYSTEM. SEE SHEET 28 FOR THE CONSTRUCTION OF A STORM WATER COLLECTION SYSTEM.

NOTES: SEE SHEET 28 FOR THE CONSTRUCTION OF A STORM WATER COLLECTION SYSTEM. SEE SHEET 28 FOR THE CONSTRUCTION OF A STORM WATER COLLECTION SYSTEM. SEE SHEET 28 FOR THE CONSTRUCTION OF A STORM WATER COLLECTION SYSTEM.



Stabilized roadway entrance

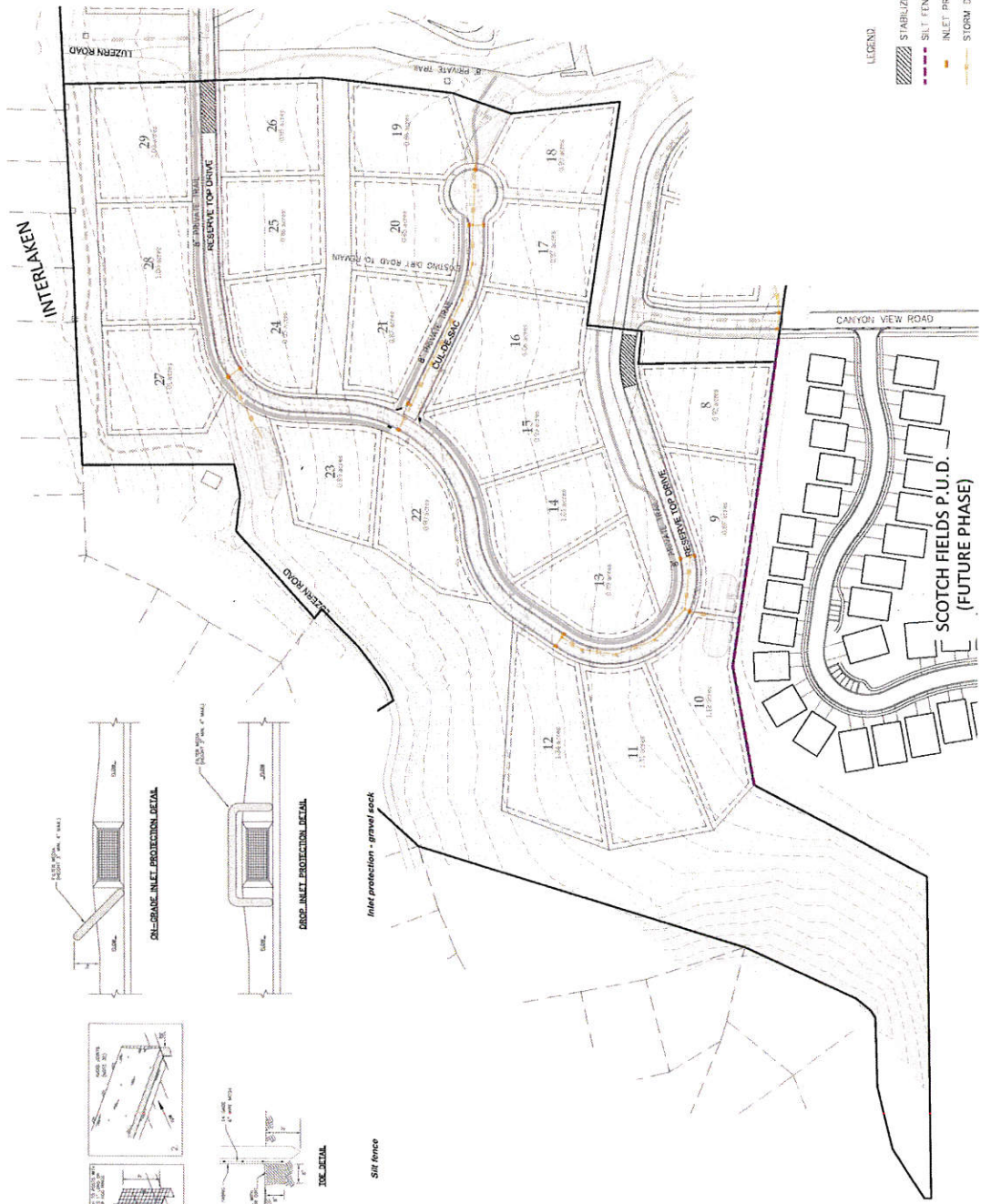
EROSION CONTROL, STORM DRAIN SYSTEM AND SUMP. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO PREVENT SOIL EROSION AND SUMP CONSTRUCTION. EROSION CONTROL MEASURES SHALL INCLUDE FILTER FABRIC AND MAY INCLUDE CONSTRUCTION. EROSION CONTROL MEASURES SHALL INCLUDE FILTER FABRIC AND MAY INCLUDE CONSTRUCTION. EROSION CONTROL MEASURES SHALL INCLUDE FILTER FABRIC AND MAY INCLUDE CONSTRUCTION.

CONSTRUCTION ACCESS SHALL BE MAINTAINED THROUGHOUT THE PROJECT. ACCESS SHALL BE MAINTAINED THROUGHOUT THE PROJECT. ACCESS SHALL BE MAINTAINED THROUGHOUT THE PROJECT.

CONSTRUCTION ACCESS SHALL BE MAINTAINED THROUGHOUT THE PROJECT. ACCESS SHALL BE MAINTAINED THROUGHOUT THE PROJECT. ACCESS SHALL BE MAINTAINED THROUGHOUT THE PROJECT.



- LEGEND
- STABILIZED CONSTRUCTION ENTRANCE
  - SILT FENCE
  - INLET PROTECTION
  - STORM DRAIN



**KIRK MALMRORE**  
**THE RESERVE AT MIDWAY**  
**STORM WATER POLLUTION**  
**PROTECTION PLAN**



BERG ENGINEERING  
 10000 W. 10th Ave.  
 Suite 100  
 Denver, CO 80231  
 Phone: 303.751.1000  
 Fax: 303.751.1001  
 Email: info@bergeng.com

DESIGNER: KIRK MALMRORE  
 DATE: 13 MAY 2001  
 SHEET NO.: 28  
 DRAWING NO.: 28