



PLANNING COMMISSION MEETING STAFF REPORT

DATE OF MEETING: June 8, 2021

NAME OF PROJECT: Watts Remund Farms PUD – Phase 4

NAME OF APPLICANT: Watts Enterprises (Russ Watts)

AGENDA ITEM: Preliminary Phase 4

LOCATION OF ITEM: 280 East Rockwell Way

ZONING DESIGNATION: R-1-15

ITEM: 6

Watts Enterprises, agent for Midway Springs Inc Series II, is proposing preliminary approval of phase 4 of Remund Farms PUD. The proposal contains 7 lots on 4.14 acres. The property is located at 280 East Rockwell Circle and is in the R-1-15 zone

BACKGROUND:

Watts Enterprises is seeking preliminary approval of phase 4 of the Watts Remund Farms master plan which is comprised of a small-scale standard subdivision and Planned Unit Development (PUD). This proposal is for 7 building pads located on 4.14 acres. The area of the proposed PUD has historically been in agricultural production. A dairy farm has been on the property for decades. Phase 4, previously known as Phase 3B, received preliminary approval from the City Council on January 7, 2020 but has since lapsed since a final application was not submitted within the one-year time frame outlined in the code. Because of this, the applicant is required to obtain a new preliminary approval from the City Council before applying for final approval.

There is generally a high-water table on the property, which lends itself to wetlands which are present in this phase. Residents of the city, particularly those living next to the

property, have raised concerns with staff in the past regarding the development and potential impacts that it may have on surrounding properties. The City is committed to assuring that all code requirements are met and that impacts are mitigated as they are identified during the approval and construction process. To identify impacts several studies have been conducted on and off site. These studies will be discussed later in this report.

There are 7 building pads proposed in this phase which are of various sizes ranging from 48' x 68' (3,264 sq. ft.) to 63' x 68' (4,284 sq. ft.) in size. All structural improvements must be located within the building pad for each dwelling including window wells, eave overhangs, bay window, pop outs, decks, pergolas, and other structural items. Also, all units have a height limit of 35' measured from natural grade.

The trails in this phase are private with a public use easement and will connect into adjacent phases that have already been platted. These trails will be soft surface. The developer has also connected the southern trail to 300 North in the Swiss Paradise subdivision with a soft surface trail. The trail will continue to River Road with a soft surface. From River Road and 300 North, the developer will build a paved trail to the roundabout approved for the entrance to Memorial Hill. This section of trail will have a hard surface. They developer will need to provide a copy of the recorded public trail easement that crosses lot 3 of the Swiss Paradise subdivision to Midway City before recording the phase 4 plat.

The streets located within the area of the PUD will be private roads and will be maintained by the homeowners' association (HOA). A public access easement will allow access to all the streets in the PUD. All on-site open space will be common area that will be owned by the HOA.

Sensitive lands are also located on the property and will be left undisturbed as required by the land use ordinance. These sensitive lands include wetlands and stream corridors.

LAND USE SUMMARY:

- 4.14 acres
- 1.29 acres of open space
- R-1-15 zoning
- Proposal contains 7 pads
- Private roads will be maintained by the HOA
- The lots will connect to the Midway Sanitation District sewer and to the City's water line.

- Trails are private with public easements
- Sensitive lands of the property include wetlands, and stream corridors

ANALYSIS:

Open Space – The code requires that each phase that is approved that there is enough open space to comply with the requirements of the code. For example, phase I must have at least 50% open space for that particular phase. If phase I has 75% open space, then phase II only needs to have 25% open space if both phases are equal in acreage. Phase 4 has approximately 1.29 acres of open space, bringing the overall development total to 54.21% open space.

Open Space Credit – The City Council has approved off-site open space for this proposal. Watts Enterprises owned property around the River Road roundabout which is parcel OMI-0563-0-026-034 and comprises 1.32 acres. This property was deeded to the City. The property was part of the open space requirement for the development and 2.2 units of density were granted to the developer as part of the approval. Watts Enterprises has landscaped the property and deeded the required water rights to the City as it would if the open space were part of the open space within the Watts Remund Farms PUD. Watts Remund Farms HOA are required to maintain the open space.

Density – The applicant is asking for approval for 7 dwellings in phase 4. The density allowed for the entire master plan is 97 units, seven of which are the lots in this phase.

Geotechnical Study – The developers have submitted a geotechnical study to the City as part of the application. Horrocks Engineers has reviewed that that study to determine if any special requirements are needed for construction of the roads and future structures in the development. Please see attached letter from Horrocks.

Public Participation Meeting – The developers held a public participation meeting on July 10, 2017 as required by the ordinance for master plan applications. This requirement is to give the developers an opportunity to present the development to the surrounding residents of the proposed development.

Sensitive Lands – This phase contains and is adjacent to wetlands that will not be disturbed through the development process. A study has been submitted by the developer and has been reviewed by three organizations that include The Army Corps of Engineers, Horrocks Engineers, and another third-party wetland expert that was decided by the City. The wetlands will become part of the open space for the development and will be preserved. Before any site disturbance related to building construction occurs, the edge of the wetland must be staked, and a construction

barrier installed to prevent disturbance to the wetlands. The barrier should be inspected regularly to ensure that it is functioning properly, and repairs to it need to be made promptly.

There is an existing ditch that runs along the east boundary of phase 4 that will remain and should not be impacted by the development.

Staggered Setbacks – The Land Use Code requires staggered setbacks to help mitigate the “wall effect” that dwellings with the same setback on a straight street creates. The code states the following in Section 16.16.8.5.c:

Front setbacks for buildings from all private streets within the PUD shall be staggered at seven and one-half feet variances, with 25 feet the minimum setback. One-third of the buildings containing dwelling units shall be at each of at least three different setbacks as recommended by the Planning Commission and approved by the City Council. For example, one-third at 25 feet, one-third at 32 ½ feet and one-third at 40 feet. Setbacks for accessory buildings shall be as recommended by the Planning Commission and approved by the City Council. Setbacks from private streets shall be measured from top-back of curb or back of sidewalk or trail, whichever is further from the street centerline. The City Council may waive this requirement when a curvilinear street design is used and shown to create the same varying setback effect.

The application has staggered the front setback of the units in the proposed phases which will help reduce the “wall effect”.

Phase 1 Environmental Study and Water Study – The developer has submitted the required Environmental Study and requested water study. Horrocks Engineers has reviewed both and has commented on it in their review letter.

Trails – This phase will include a 6’ soft surface trail that connects into adjacent phases along and an adjacent neighborhood. This trail is privately owned and maintained, but will have an easement allowing for public use.

Phase approval – The developer is petitioning for preliminary approval of phase 4. The approval is good for up to one year. The City Council may extend the approval, after a yearly review, for up to three more years after the initial approval.

WATER BOARD RECOMMENDATION:

Phase 4 Water Rights per the 1/6/2020 Water Board Meeting:

Inside: 5.60/ac-ft

Irrigation: 7.68 ac-ft

Total Required: 13.28 ac-ft

PROPOSED FINDINGS:

- The proposed plan does meet the requirements of the code for PUDs.
- The public trail system in the development benefits the entire community by creating a trail away from collector roads.
- The proposal does comply with the approved master plan.
- Any failure to submit a proposed final plan and final approval submittal package within one year of the approval of the Preliminary Plan by the City Council shall terminate all proceedings and render the Preliminary Plan null and void.

ALTERNATIVE ACTIONS:

1. Recommendation of Approval (conditional). This action can be taken if the Planning Commission finds the proposal complies with the requirements of the Land Use Code.
 - a. Accept staff report
 - b. List accepted findings
 - c. Place condition(s) if needed

2. Recommendation of Continuance. This action can be taken if the Planning Commission finds that there are unresolved issues.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for continuance
 - i. Unresolved issues that must be addressed
 - d. Date when the item will be heard again

3. Recommendation of Denial. This action can be taken if the Planning Commission finds that the request does not meet the intent of the ordinance.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for denial

PROPOSED CONDITION:

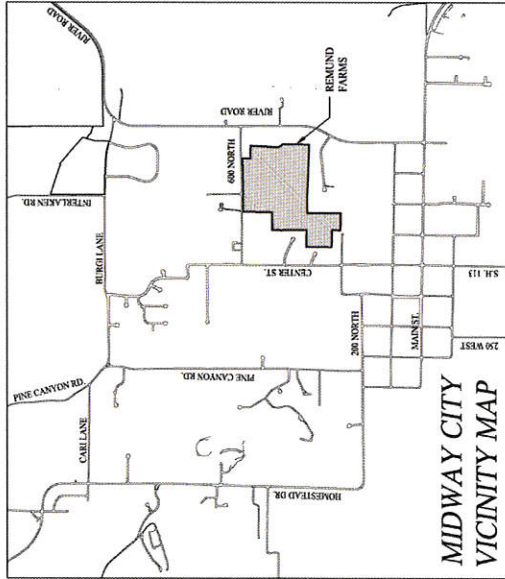
1. Provide Midway City with a copy of the recorded public trail easement that crosses lot 3 of Swiss Paradise subdivision previous to recording the phase 4 plat.

REMUND FARMS

PHASE 4 - PRELIMINARY PLANS

SHEET INDEX

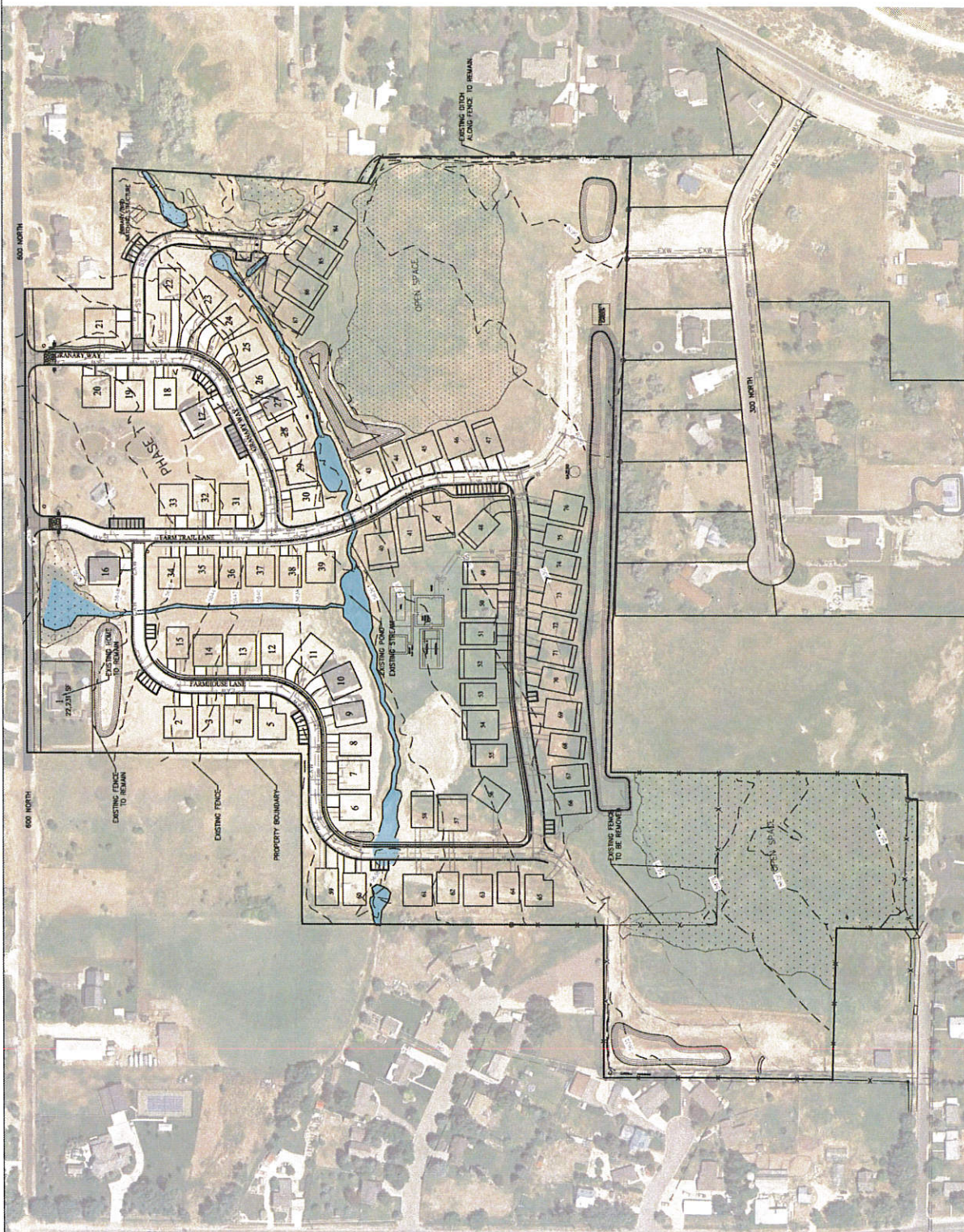
1. PHASE 4 EXISTING CONDITIONS PLAN
2. APPROVED MASTER PLAN
3. PHASING PLAN
4. OPEN SPACE MASTER PLAN
5. PHASE 4 SITE PLAN
6. PHASE 4 LANDSCAPE PLAN
7. REMUND FARMS PUD - PHASE 4 PLAT
8. ROCKWELL CIRCLE PLAN AND PROFILE STA 0+00 TO 5+85
9. ROAD CONSTRUCTION DETAILS
10. UTILITY MASTER PLAN
11. PHASE 4 SEWER PLAN
12. ROCKWELL CIRCLE SEWER PLAN & PROFILE
13. SEWER CONSTRUCTION DETAILS
14. PHASE 4 WATER PLAN
15. PHASE 4 PRESSURIZED IRRIGATION PLANE
16. WATER & PI CONSTRUCTION DETAILS
17. PHASE 4 STORM DRAIN PLAN
18. ROCKWELL CIRCLE STORM DRAIN PLAN & PROFILE
19. STORM DRAIN CONSTRUCTION DETAILS
20. PHASE 4 STORM WATER POLLUTION PREVENTION PLAN



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PAGE: 0.0045 3 of 6
DATE: 12 MAY 2017

REMUND FARMS PHASE 4 FINAL APPLICATION - 17 MAY 2017

WATTS ENTERPRISES		REVISION NO. 000		DATE: 12 MAY 2017		SHEET	
REVISION NO. 000		DATE: 12 MAY 2017		SHEET		0	
COVER SHEET		DRAWN BY: CSM		DATE: 12 MAY 2017		REV.	
BERG ENGINEERING		DATE: 12 MAY 2017		SHEET		0	



Scale 1" = 100'
 SCALE 1"=200' FOR 11"x17" PLANS

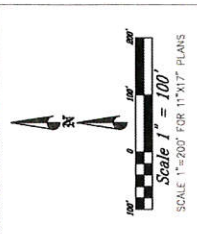
- LEGEND:
- WETLANDS
 - EXISTING DITCH
 - EXISTING SEWER
 - EXISTING PRESSURIZED IRRIGATION
 - EXISTING WATER
 - EXISTING STORM DRAIN

NOTES:
 1. LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

THIS DOCUMENT IS INCOMPLETE FOR PERMITS AND CONSTRUCTION. IT IS FOR INFORMATION ONLY. NO WARRANTIES, REPRESENTATIONS, OR CONTRACTS SHALL BE MADE BY OR FOR THE ENGINEER.

PAUL S. BERG, P.E.
 DATE: 12 MAY 2021

WATTS ENTERPRISES REMUND FARMS
PHASE 4 EXISTING CONDITIONS PLAN
BERG ENGINEERING 3802 S. MAIN ST., SUITE 204 BOZEMAN, MT 59717 PH: 406.557.9349
DESIGNED BY: PDB DATE: 12 MAY 2021 SHEET: 1
DRAWN BY: CMB REV: 1



- SCALE 1"=50' FOR "TYPICAL" PLANS
- LEGEND
- WETLANDS
 - EXISTING UNITS
 - PAVED TRAIL
 - GRAVEL TRAIL
 - BOARDWALK TRAIL
 - IMPROVED DITCH
 - PRIVATE AREA-TYPE 1 (BUILDING PAD PHASE 4)
 - PRIVATE AREA-TYPE 2 (SEE NOTE)
 - FUTURE UNITS

1/2 PRIVATE AREA-TYPE 2 UNITS, PRIVATE AREA-TYPE 2 UNITS COVERED DECKS, PERGOLAS, HOT TUBS AT BARRIQUES, GRILLS AND SMALL STORAGE BINS AND OUTDOOR FURNITURE. ROOFS TO COVER THIS PRIVATE AREA UNITS TO BE 42" HIGH WROUGHT IRON FENCE WITH A 42" HIGH WROUGHT IRON FENCE ON TOP. UNITS IN PRIVATE AREA-TYPE 2 ARE SUBJECT TO THE CDMR'S AND HOA APPROVAL.

PROPOSED CALCULATIONS
 TOTAL PAD AREA: 52.36 ACRES
 TOTAL PAD AREA BUFFER: 2.50 UNITS/ACRE
 TOTAL UNITS ALLOWED FOR PROJECT: 130.91 UNITS
 2,500 SQ. FT. (0.06 AC) = 93.74 UNITS
 93.74 UNITS - 130.91 UNITS = -37.17 UNITS
 TOTAL UNITS ALLOWED FOR PROJECT: 130.91 UNITS

LAND USE SUMMARY
 R-1-12 ZONE: 1.01 AC (22.75% OF ENTIRE)
 OFFSITE OPEN SPACE: 1.32 AC (25.28% OF ENTIRE)
 TOTAL OPEN SPACE: 2.33 AC (45.03% OF ENTIRE)
 PRIVATE OPEN SPACE: 20.36 AC (39.08% OF ENTIRE)
 TOTAL UNITS: 130.91 UNITS
 1.01 AC (22.75% OF ENTIRE)
 1.32 AC (25.28% OF ENTIRE)
 20.36 AC (39.08% OF ENTIRE)
 1.32 AC (25.28% OF ENTIRE)

MONK CITY CODE EXCEPTIONS NOTE:
 THIS PLAN IS BASED ON THE FOLLOWING EXCEPTIONS:
 - 20.36 AC (39.08% OF ENTIRE) OFFSITE OPEN SPACE TRANSFER APPROVAL FROM THE DEVELOPER.
 - 1.32 AC (25.28% OF ENTIRE) OFFSITE OPEN SPACE TRANSFER APPROVAL FROM THE DEVELOPER.
 - 1.01 AC (22.75% OF ENTIRE) OFFSITE OPEN SPACE TRANSFER APPROVAL FROM THE DEVELOPER.
 - 1.32 AC (25.28% OF ENTIRE) OFFSITE OPEN SPACE TRANSFER APPROVAL FROM THE DEVELOPER.
 - 1.01 AC (22.75% OF ENTIRE) OFFSITE OPEN SPACE TRANSFER APPROVAL FROM THE DEVELOPER.

THIS DOCUMENT IS A PRELIMINARY PLAN AND IS NOT TO BE USED FOR CONSTRUCTION. THE CITY ENGINEER'S OFFICE HAS REVIEWED THIS PLAN AND HAS ISSUED THIS REVIEWED PLAN. THE CITY ENGINEER'S OFFICE HAS REVIEWED THIS PLAN AND HAS ISSUED THIS REVIEWED PLAN. THE CITY ENGINEER'S OFFICE HAS REVIEWED THIS PLAN AND HAS ISSUED THIS REVIEWED PLAN.

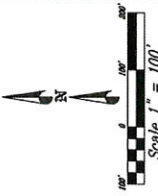
PAUL A. BERG, P.E.
 SERIAL NO. 205919
 DATE: 11/16/2017

WATTS ENTERPRISES
 REMUND FARMS
 APPROVED MASTER PLAN

BERG ENGINEERING
 2841 S. 104TH ST., SUITE 204
 TULSA, OKLAHOMA 74129
 PHONE: 918.437.1949
 FAX: 918.437.1950

DESIGNED BY: PAB DATE: 11/16/2017 SHEET: 2
 DRAWN BY: CDM REV:





SCALE 1"=100' FOR ALL PLANS

LEGEND

PHASING	AREA	UNITS
PHASE 1	15.96 ACRES	1-38
PHASE 2	18.07 ACRES	40-52, 53-56, 57-58, 59-60, 61-67
PHASE 3	3.53 ACRES	53-56
PHASE 4	4.14 ACRES	71-83
PHASE 5	9.22 ACRES	88-97

WATER RIGHTS TABLE

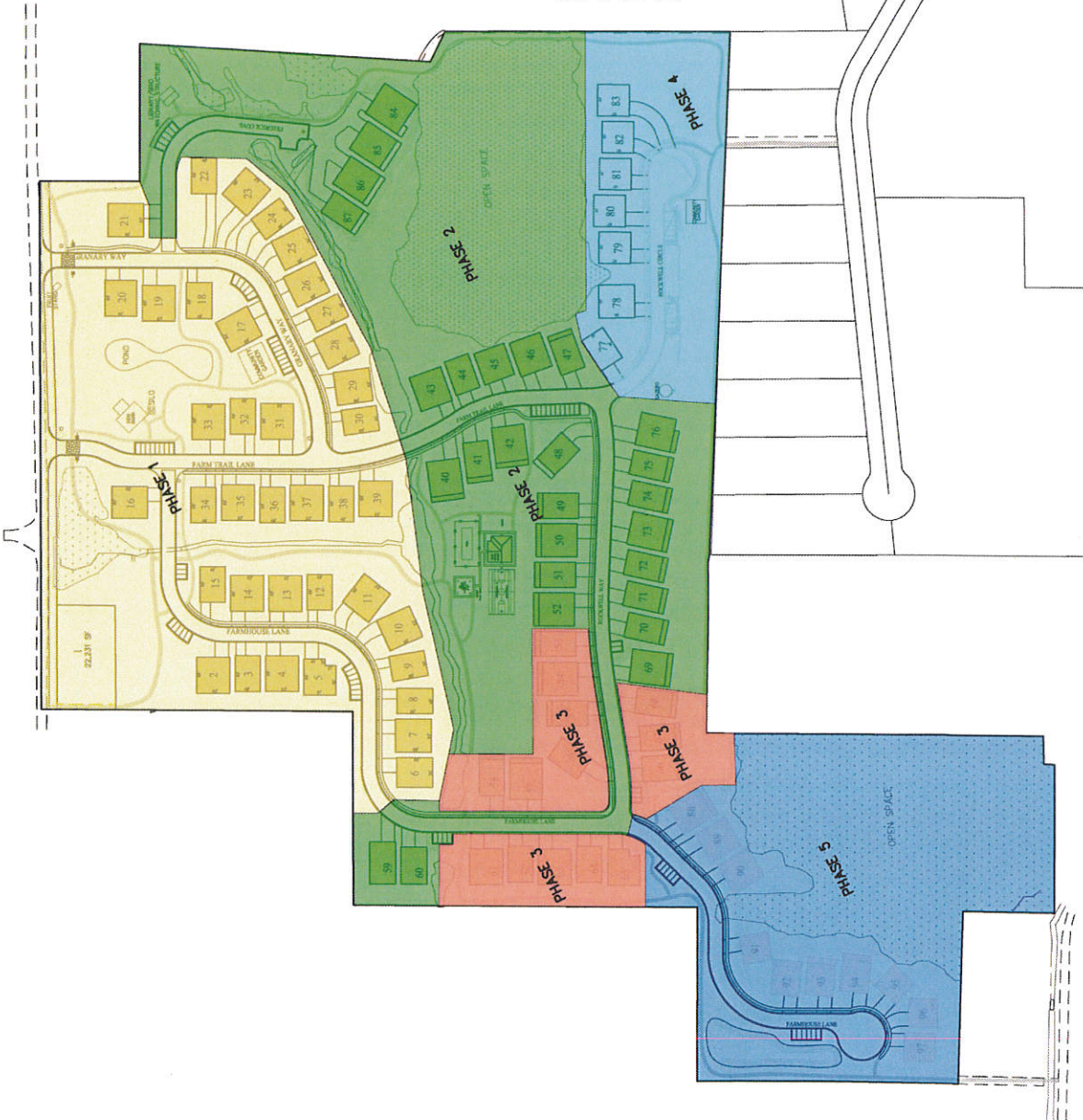
PHASE	TOTAL AREA	BUILDINGS & SERVICES	ROADS & PARKING	TRAILS & SERVICES	WETLANDS & REMEDIATED AREAS
1	15.96 AC	4.82 AC	1.69 AC	0.72 AC	0.66 AC
2	18.07 AC	3.33 AC	1.40 AC	0.88 AC	5.05 AC
3A	3.53 AC	1.51 AC	0.01 AC	0.14 AC	0.12 AC
3B	4.14 AC	0.78 AC	0.45 AC	0.22 AC	0.15 AC
3C	9.22 AC	1.11 AC	0.57 AC	0.27 AC	5.03 AC

THIS DOCUMENT IS UNQUALIFIED FOR ALL PURPOSES. IT IS NOT TO BE USED FOR CONSTRUCTION. BERG ENGINEERING, P.C. SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT. DATE: 11/20/2011

WATTS ENTERPRISES
REMUND FARMS
PHASING PLAN

BERG ENGINEERING
2801 E. MAIN ST., SUITE 204
DENVER, CO 80202
PH: 303.627.9749
FAX: 303.627.9749

DESIGN BY: CDB DATE: 12 MAY 2011 SHEET 3
DRAWN BY: CDB REV:





LEGEND

- METLANDS (10.00 AC)

OPEN SPACE REQUIREMENTS:

- INTERIOR - 40' MINIMUM
- INTERIOR - 100' MINIMUM

TOTAL OPEN SPACE:

- ON-SITE 27.85 AC (55.20%)
- OFF-SITE 1.32 AC (2.62%)
- TOTAL 29.17 AC (57.82%) (50% REQUIRED)

OPEN SPACE DEDICATION BY PHASE

PHASE	AREA	OPEN SPACE PER PHASE	TOTAL PROJECT OPEN SPACE	TOTAL PROJECT OPEN SPACE
1	15.96 AC	11.21 AC (70.24%)	15.96 AC	11.21 AC (70.24%)
2	18.02 AC	8.27 AC (45.89%)	33.98 AC	20.00 AC (61.21%)
3	3.53 AC	0.49 AC (13.88%)	37.51 AC	21.29 AC (56.76%)
4	4.14 AC	1.29 AC (31.19%)	41.65 AC	22.58 AC (54.31%)
5	9.22 AC	5.83 AC (63.23%)	50.87 AC	28.21 AC (55.46%)

EXISTING UNITS

- PROPOSED UNITS IN PHASE 4
- FUTURE UNITS (PHASE 5)

OPEN SPACE NOTES:

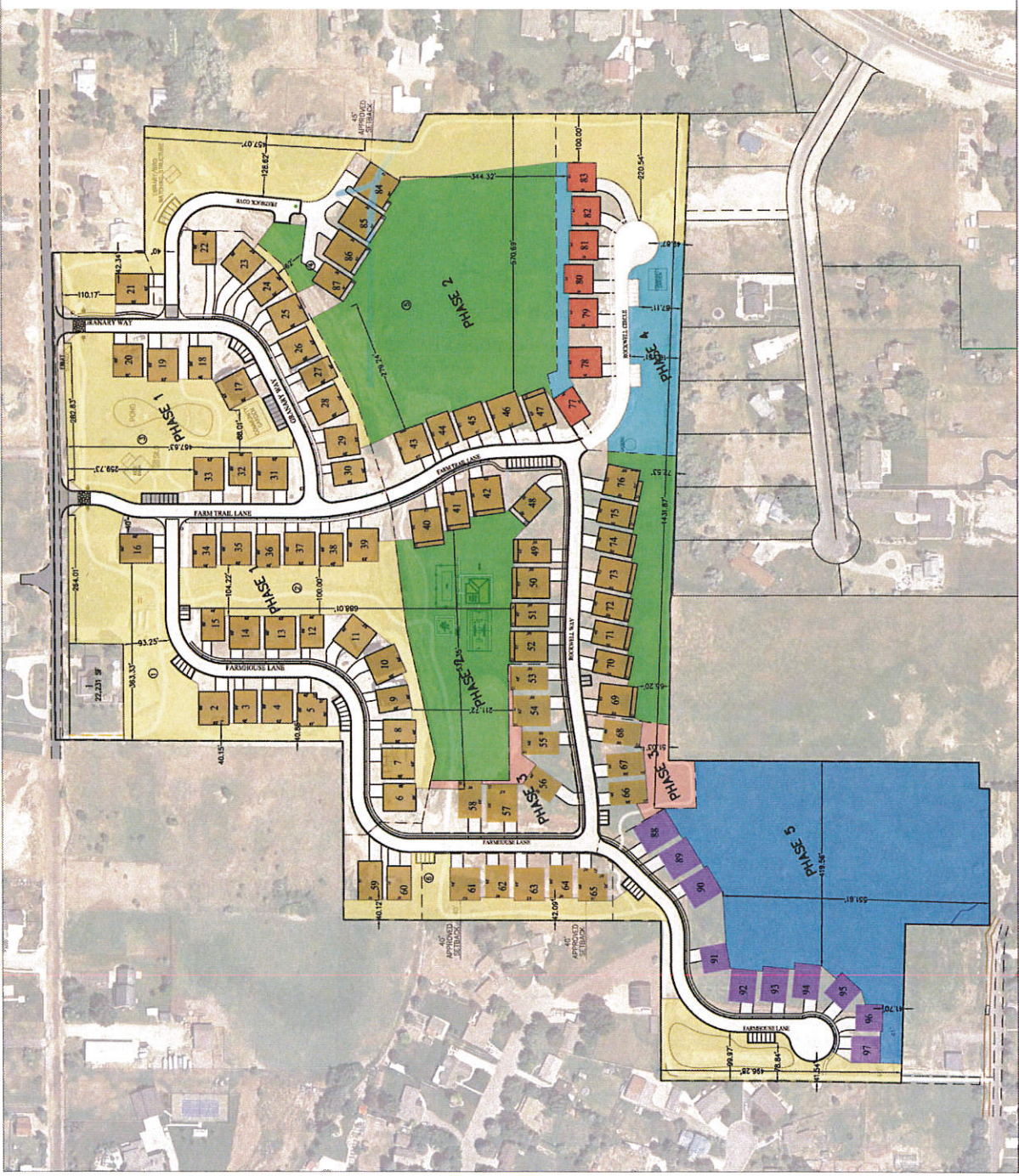
- TOTAL AREA: 50.87 ACRES
- TOTAL OPEN SPACE: 28.85 ACRES (56.8%) OF ENTIRE DEVELOPMENT
- OPEN SPACE IN A SINGLE OPEN SPACE AREA = 18.43 ACRES (36.2%)
- IN THIS PHASE 5, THE REMAINING OPEN SPACE TO BE PROVIDED IN THIS PHASE OPEN SPACE PARCELS 5 MEETS THIS PLAN REQUIREMENT.

THE ACCURACY OF A COMPUTER AIDED DESIGN DRAWING IS GUARANTEED TO BE WITHIN THE TOLERANCES SPECIFIED HEREIN FOR THE INDUSTRY STANDARD PRACTICES. THIS DRAWING IS THE PROPERTY OF BERG ENGINEERING, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF BERG ENGINEERING, INC. DATE: 12 MAY 2012

WATTS ENTERPRISES
 REMOND FARMS
 OPEN SPACE
 MASTER PLAN

BERG ENGINEERING
 300 S MAIN ST. SUITE 204
 PAUL D. BERG, P.E.
 SERIAL NO. 2012053
 DATE: 12 MAY 2012

DESIGN BY: PDB DATE: 12 MAY 2012 SHEET: 4
 DRAWN BY: CMB REV:





- LEGEND**
- WETLANDS
 - TRAIL
 - IMPROVED DITCH OR POND
 - EXISTING UNITS
 - PROPOSED UNITS PHASE 4

PER THE BEST CHECK NOTE:
 RECALL THE CITY COUNCIL MAY HAVE THIS REQUIREMENT (STAGGED SETBACKS) USED AND SHOWN TO CREATED THE SAME VARYING SETBACK EFFECT.

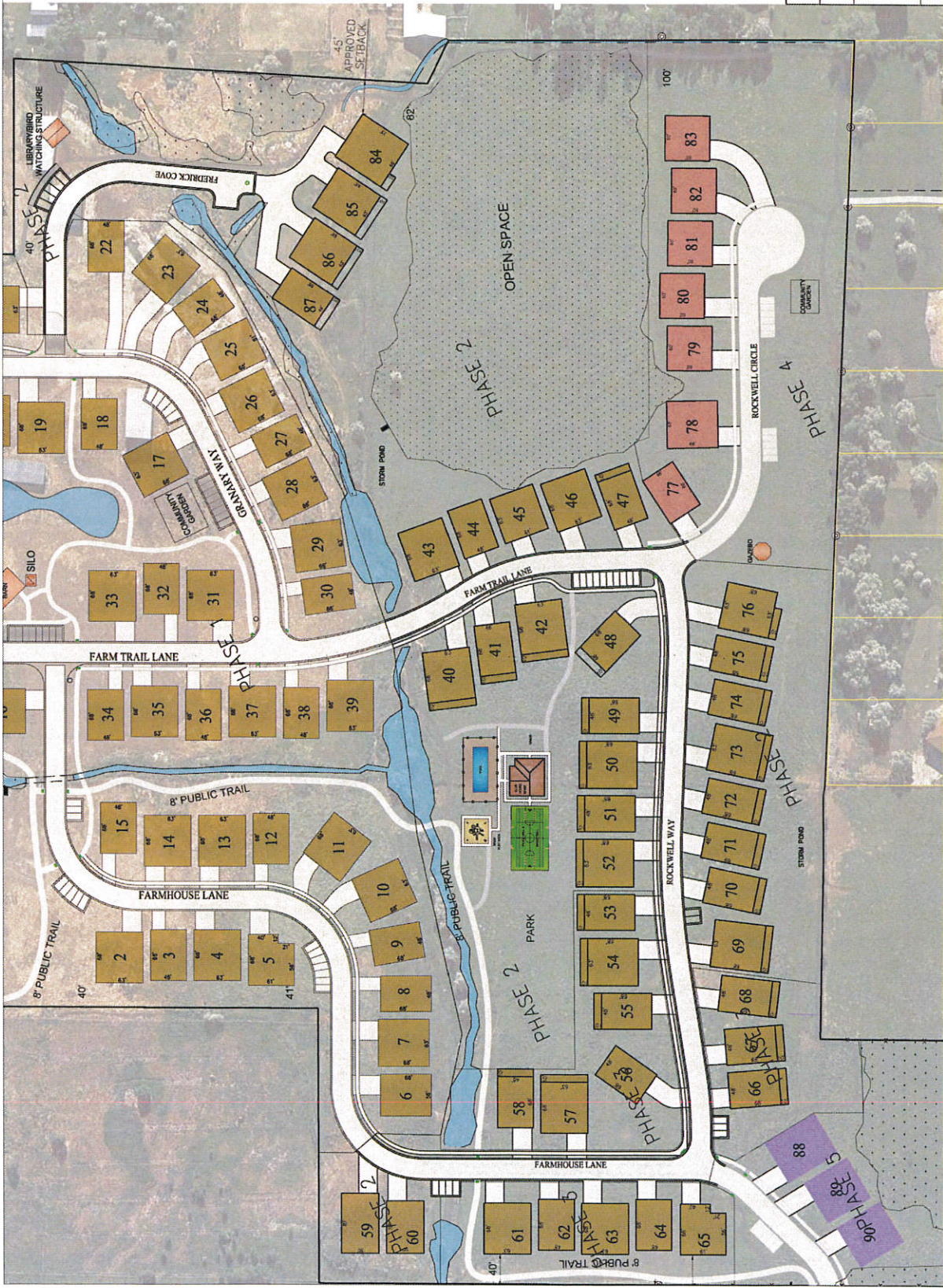
RECALL CITY CODES CONCERNING SETBACKS AND EXISTING UNITS PHASE 4. CITY COUNCIL APPROVAL. SETBACKS WITH CITY ENGINEER APPROVAL.

THIS DOCUMENT IS NON-VALID FOR ANY OTHER PROJECT. IT IS BEING USED FOR THE PURPOSES OF THIS PROJECT ONLY.
 DATE: 12 MAY 2021

WATTS ENTERPRISES
 REMOND FARMS
 PHASE 4
 SITE PLAN



DESIGNER: PDM DATE: 12 MAY 2021 SHEET
 DRAWN BY: CDR REV: 5



PLANT SCHEDULE PHASE 4

SYMBOL	PLANT	SIZE	QUANTITY
(Symbol)	AMERICAN BURNING BUSH	4.5"	100
(Symbol)	DOGWOOD	4.5"	100
(Symbol)	DOGWOOD	6"	100
(Symbol)	DOGWOOD	8"	100
(Symbol)	DOGWOOD	10"	100
(Symbol)	DOGWOOD	12"	100
(Symbol)	DOGWOOD	14"	100
(Symbol)	DOGWOOD	16"	100
(Symbol)	DOGWOOD	18"	100
(Symbol)	DOGWOOD	20"	100
(Symbol)	DOGWOOD	24"	100
(Symbol)	DOGWOOD	30"	100
(Symbol)	DOGWOOD	36"	100
(Symbol)	DOGWOOD	42"	100
(Symbol)	DOGWOOD	48"	100
(Symbol)	DOGWOOD	54"	100
(Symbol)	DOGWOOD	60"	100
(Symbol)	DOGWOOD	72"	100
(Symbol)	DOGWOOD	84"	100
(Symbol)	DOGWOOD	96"	100
(Symbol)	DOGWOOD	108"	100
(Symbol)	DOGWOOD	120"	100
(Symbol)	DOGWOOD	144"	100
(Symbol)	DOGWOOD	168"	100
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(Symbol)	DOGWOOD	288"	100
(Symbol)	DOGWOOD	336"	100
(Symbol)	DOGWOOD	384"	100
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(Symbol)	DOGWOOD	528"	100
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(Symbol)	DOGWOOD	624"	100
(Symbol)	DOGWOOD	672"	100
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(Symbol)	DOGWOOD	768"	100
(Symbol)	DOGWOOD	816"	100
(Symbol)	DOGWOOD	864"	100
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(Symbol)	DOGWOOD	1296"	100
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(Symbol)	DOGWOOD	1920"	100
(Symbol)	DOGWOOD	1968"	100
(Symbol)	DOGWOOD	2016"	100
(Symbol)	DOGWOOD	2064"	100
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(Symbol)	DOGWOOD	5136"	100
(Symbol)	DOGWOOD	5184"	100
(Symbol)	DOGWOOD	5232"	100
(Symbol)	DOGWOOD	5280"	100
(Symbol)	DOGWOOD	5328"	100
(Symbol)	DOGWOOD	5376"	100
(Symbol)	DOGWOOD	5424"	100
(Symbol)	DOGWOOD	5472"	100
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(Symbol)	DOGWOOD	10080"	100



Scale 1" = 60'
SCALE: 1"=120' FOR 11"x17" PLANS

- LEGEND:**
- WETLANDS
 - TRAIL
 - IMPROVED DITCH OR POND
 - LANDSCAPING (CONTIGUOUS BLUE GRASS)
 - LANDSCAPING (MIXED GRASS)
 - EXISTING UNITS
 - PROPOSED UNITS IN PHASE 4
 - FUTURE UNITS (PHASE 5)

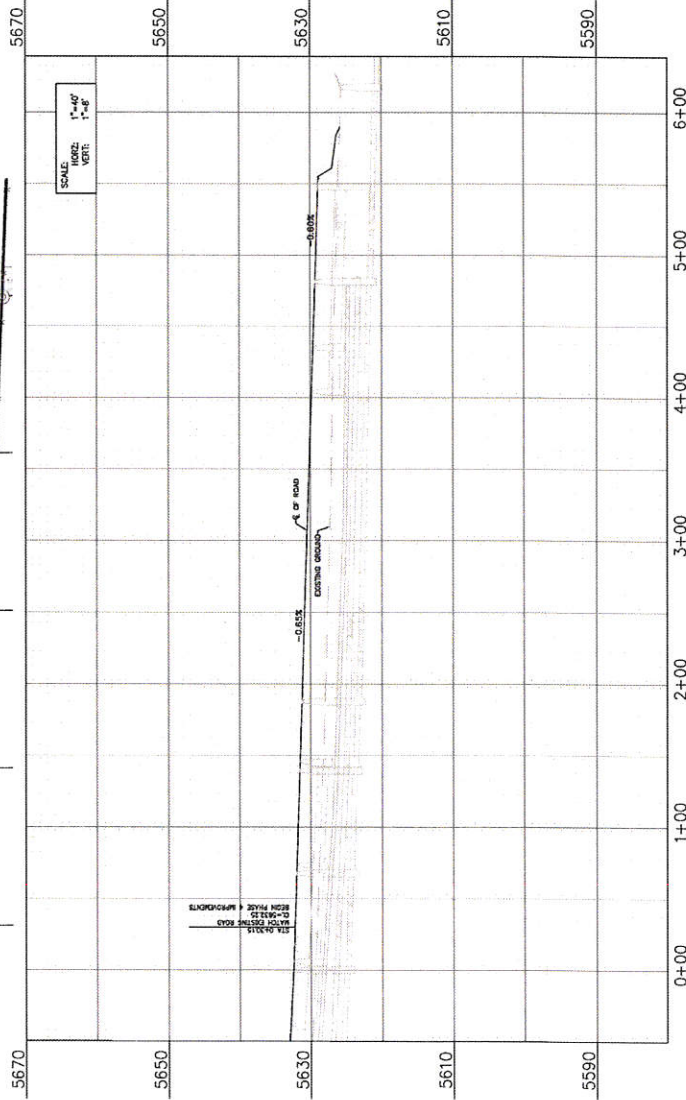
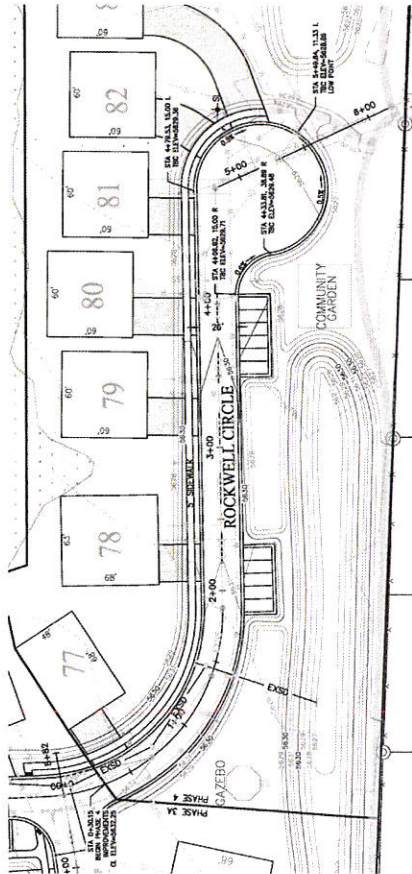
BUILDING SETBACK NOTES:
 -ALL BUILDING SETBACKS SHALL MEET THE FOLLOWING REQUIREMENTS:
 -MINIMUM SETBACK SHALL BE 5 FEET FROM ALL ADJACENT PROPERTIES.
 -MINIMUM SETBACK SHALL BE 10 FEET FROM ALL ADJACENT STREETS.
 -MINIMUM SETBACK SHALL BE 15 FEET FROM ALL ADJACENT UTILITIES.
 -MINIMUM SETBACK SHALL BE 20 FEET FROM ALL ADJACENT POWER LINES.
 -MINIMUM SETBACK SHALL BE 25 FEET FROM ALL ADJACENT WATER BODIES.
 -MINIMUM SETBACK SHALL BE 30 FEET FROM ALL ADJACENT AIRCRAFT TAKEOFF AND LANDING PATHS.
 -MINIMUM SETBACK SHALL BE 35 FEET FROM ALL ADJACENT HIGHWAY RIGHTS-OF-WAY.
 -MINIMUM SETBACK SHALL BE 40 FEET FROM ALL ADJACENT RAILROAD RIGHTS-OF-WAY.
 -MINIMUM SETBACK SHALL BE 45 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 50 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 55 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 60 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 65 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 70 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 75 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 80 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 85 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 90 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 95 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 100 FEET FROM ALL ADJACENT AIRPORTS.

MINIMUM CITY CODE EXCEPTIONS NOTE:
 -MINIMUM CITY CODE EXCEPTIONS SHALL BE AS FOLLOWS:
 -MINIMUM SETBACK SHALL BE 5 FEET FROM ALL ADJACENT PROPERTIES.
 -MINIMUM SETBACK SHALL BE 10 FEET FROM ALL ADJACENT STREETS.
 -MINIMUM SETBACK SHALL BE 15 FEET FROM ALL ADJACENT UTILITIES.
 -MINIMUM SETBACK SHALL BE 20 FEET FROM ALL ADJACENT POWER LINES.
 -MINIMUM SETBACK SHALL BE 25 FEET FROM ALL ADJACENT WATER BODIES.
 -MINIMUM SETBACK SHALL BE 30 FEET FROM ALL ADJACENT AIRCRAFT TAKEOFF AND LANDING PATHS.
 -MINIMUM SETBACK SHALL BE 35 FEET FROM ALL ADJACENT RAILROAD RIGHTS-OF-WAY.
 -MINIMUM SETBACK SHALL BE 40 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 45 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 50 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 55 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 60 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 65 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 70 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 75 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 80 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 85 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 90 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 95 FEET FROM ALL ADJACENT AIRPORTS.
 -MINIMUM SETBACK SHALL BE 100 FEET FROM ALL ADJACENT AIRPORTS.

WATTS ENTERPRISES
 REMOND FARMS
 PHASE 2&3
 LANDSCAPE PLAN

BERG ENGINEERING
 200 E. Main St., Suite 200A
 Fort Collins, CO 80501
 970.226.0747

DRAWN BY: CSM | DATE: 12 MAY 2021 | SHEET: 6



NOTES:

1. LOCATION OF CURBS UNLESS SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR TO VERIFY LOCATION OF CURBS AND ADJUST TO MEET CITY STANDARDS AND SPECIFICATIONS AS ADOPTED IN THE JUNE 2002 EDITION.
2. ALL ROAD DIMENSIONS SHALL MEET CITY STANDARDS AND SPECIFICATIONS AS ADOPTED IN THE JUNE 2002 EDITION.

LEGEND:

- PROPOSED STREET LIGHT LOCATION
- METAL ADA RAMP

GRADING NOTE:
THIS PLAN SHOWS GRADING UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY EXISTING GRADE AND TO CONSTRUCT GRADING TO MEET CITY STANDARDS AND SPECIFICATIONS AS ADOPTED IN THE JUNE 2002 EDITION. ALL CONSTRUCTION OF FORMAL ROADS TO BE 18-24 INCHES ABOVE TOP BACK OF CURB. DRAINWAYS WILL BE LESS THAN 24 INCHES ABOVE TOP BACK OF CURB.

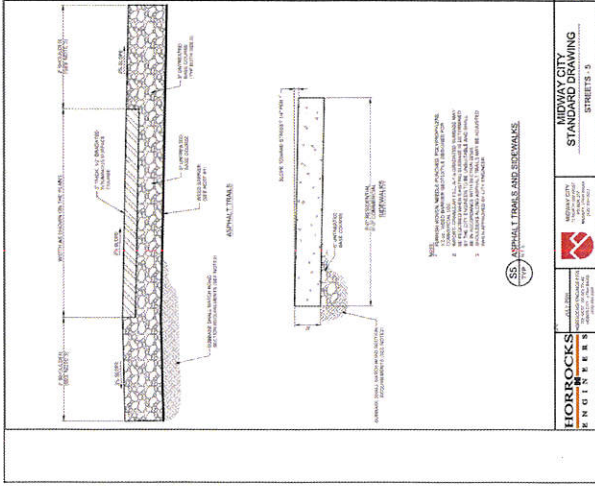


WATTS ENTERPRISES
REMUND FARMS
ROCKWELL CIR
PLAN & PROFILE 0-00 - 5-60

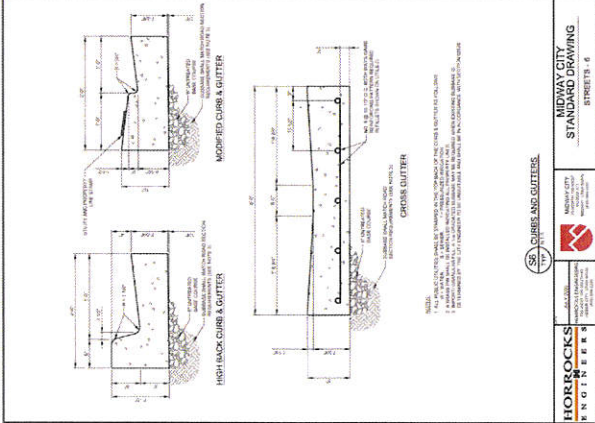
BERG ENGINEERING
3001 E MAIN ST. SUITE 204
DENVER, CO 80202
TEL: 303.733.7149
FAX: 303.733.7149

DESIGNED BY: DEE | DATE: 12 MAY 2007 | SHEET 8
DRAWN BY: DEE | REV: _____

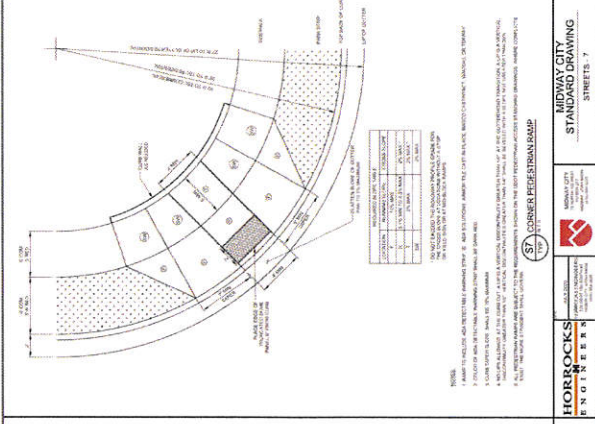
THIS DOCUMENT IS PREPARED FOR THE CLIENT'S USE ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF BERG ENGINEERING. DATE: 12 MAY 2007.



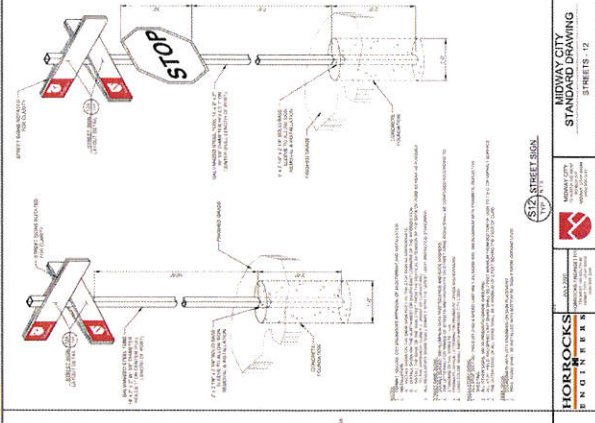
55 ASPHALT CURB AND SIDEWALK
 MIDWAY CITY STANDARD DRAWING
 SHEET 12.3



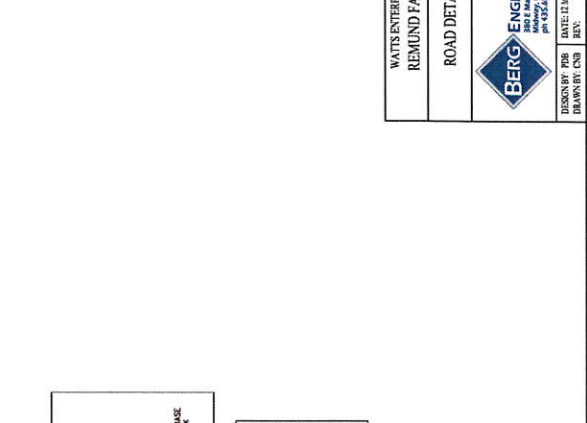
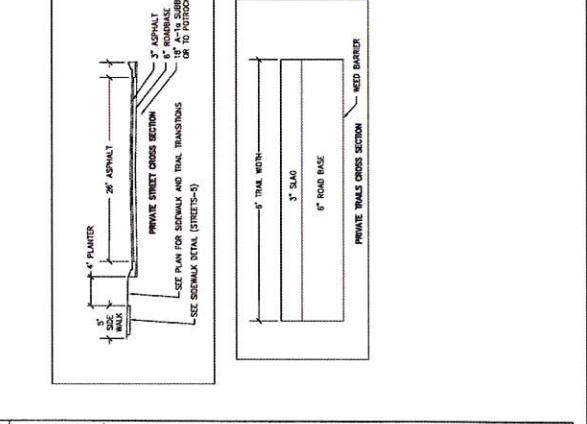
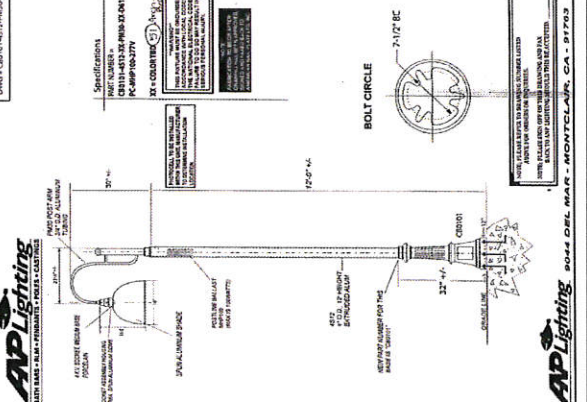
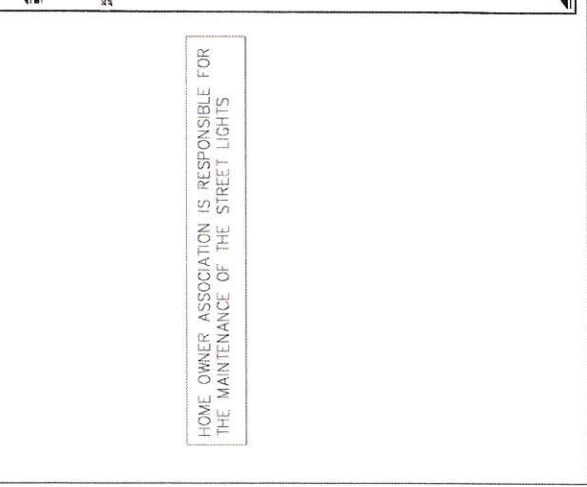
59 CURBS AND GUTTERS
 MIDWAY CITY STANDARD DRAWING
 SHEET 12.6



57 CORNER PEDESTRIAN RAMP
 MIDWAY CITY STANDARD DRAWING
 SHEET 12.7

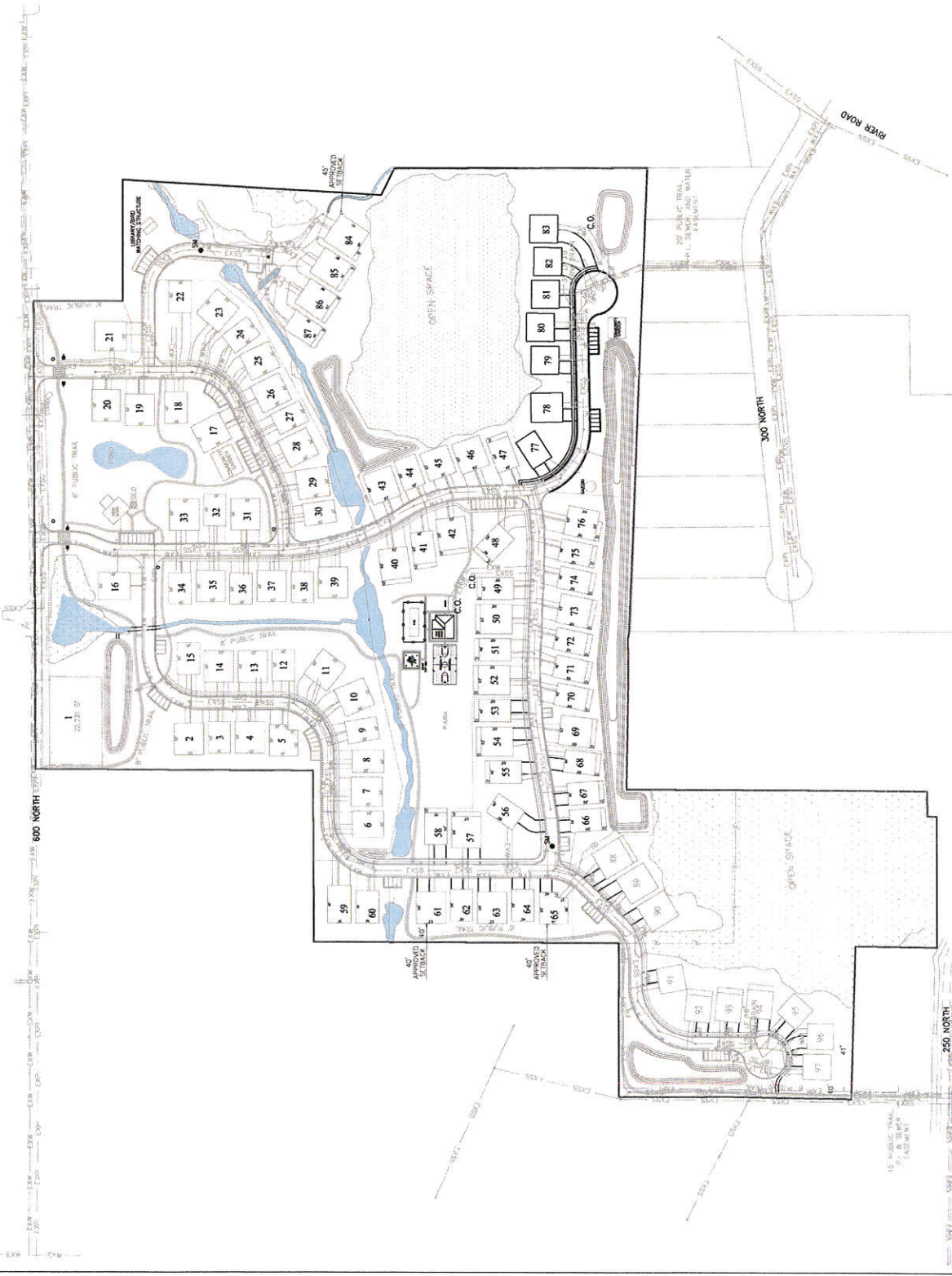


512 STREET SIGN
 MIDWAY CITY STANDARD DRAWING
 SHEET 12.12



HOME OWNER ASSOCIATION IS RESPONSIBLE FOR THE MAINTENANCE OF THE STREET LIGHTS

WATTS ENTERPRISES
 REMUND FARMS
 ROAD DETAILS
 BERG ENGINEERING
 3004 DEL MAR CA - MONTECLAIR, CA - 92033
 760.595.1234
 DATE: 12 MAY 2021
 DRAWN BY: CNE
 REV: 9



Scale 1" = 100'
 SCALE 1"=200' FOR 11"x17" PLANS

- LEGEND**
- WETLANDS
 - GRAVEL TRAIL
 - ASPHALT TRAIL
 - IMPROVED DITCH

PHASING NOTE:
 PHASE 1 INCLUDES UNITS 1-39
 PHASE 2 INCLUDES UNITS 40-59, 60-61, 70-74,
 84-87
 PHASE 3 INCLUDES UNITS 59, 62-66, 67-69
 PHASE 4 INCLUDES UNITS 77-81

- LEGEND**
- EXISTING COUNTRY WATER
 - PROPOSED COUNTRY WATER
 - EXISTING PRESSURIZED IRRIGATION
 - PROPOSED PRESSURIZED IRRIGATION
 - EXISTING SEWER
 - PROPOSED SEWER
 - PROPOSED STORM DRAIN
 - SM SURVEY MONUMENT

UTILITY NOTE:
 THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN IS BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES FOR THE VARIOUS UTILITIES.

CONSTRUCTION NOTES:
 LOCATION OF EXISTING UTILITIES SHOWN ON PLAN IS BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES FOR THE VARIOUS UTILITIES.

THE ENGINEER HAS REVIEWED THIS PLAN FOR CONFORMANCE WITH THE MINIMUM REQUIREMENTS OF THE ILLINOIS LAND AND WATER CONSTRUCTION ACT.
 PAUL S. BERG, P.E.
 JOHN W. JOHNS, P.L.
 JAMES J. JOHNS, P.L.
 JAMES J. JOHNS, P.L.

WATTS ENTERPRISES
 REMOND FARMS
 UTILITY
 MASTER PLAN



DESIGNED FOR: WATTS ENTERPRISES
 DATE: 12 MAY 2017
 DRAWING: CWS
 SHEET: 10



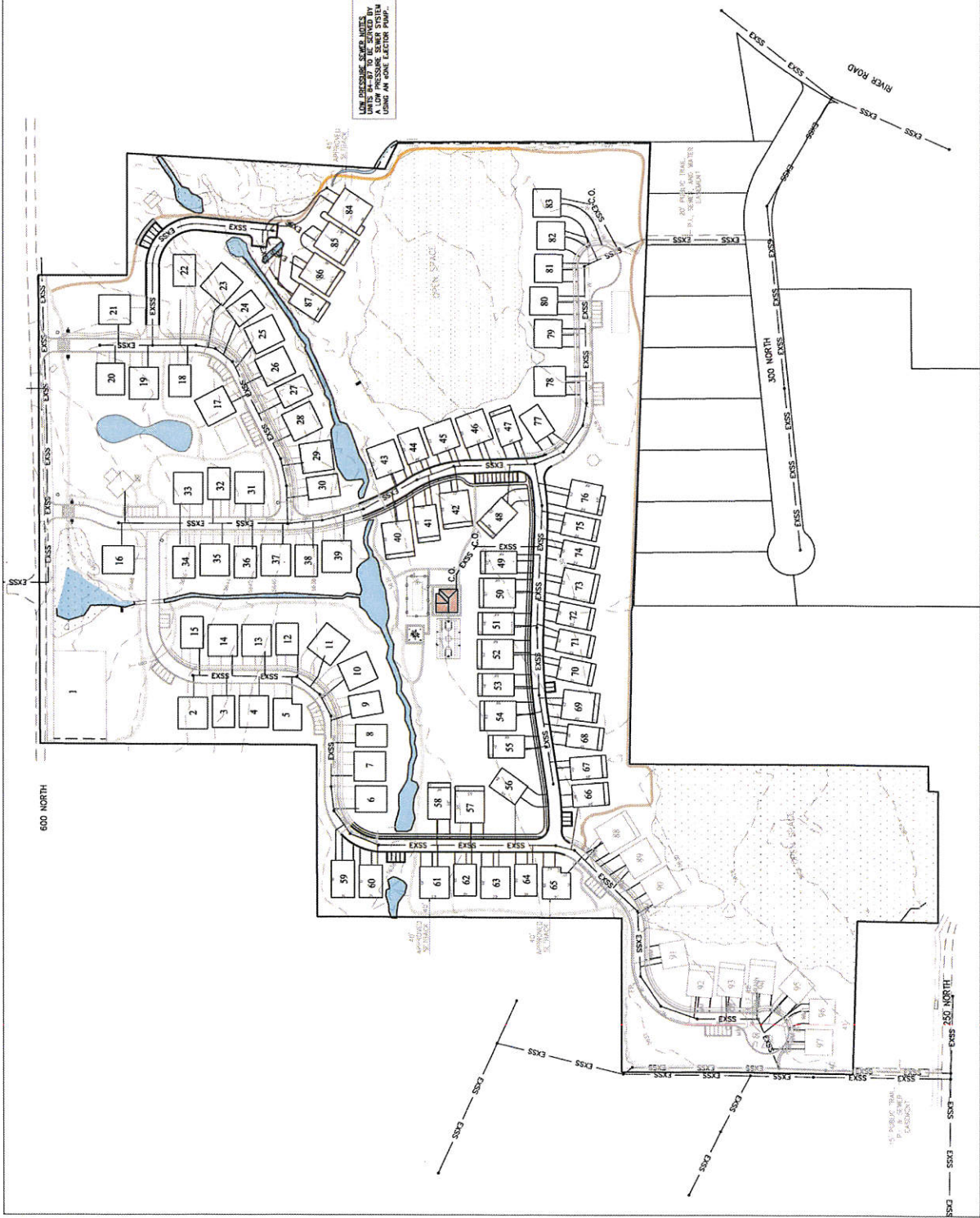
LEGEND

(Symbol: Dotted pattern)	WETLANDS
(Symbol: Circle with 'M')	SEWER MANHOLE
(Symbol: Line with 'L.A.T.')	SEWER LATERAL
(Symbol: Line with 'S.S.')	SEWER LATERAL
(Symbol: Line with 'E.X.S.S.')	SEWER LATERAL

SEWER SYSTEM NOTES:

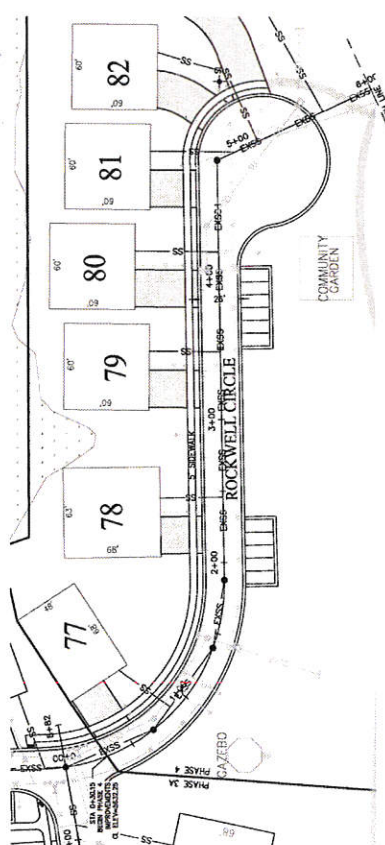
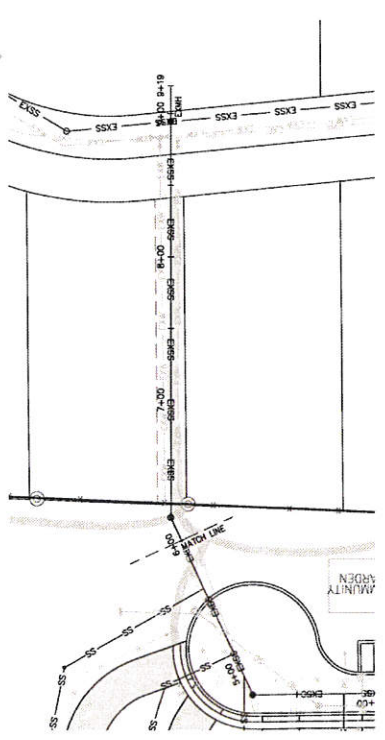
1. ALL SEWER CONSTRUCTION TO BE TO MOWRY SANITATION DISTRICT STANDARDS INCLUDING THE FOLLOWING:
 - 1.1. ALL SEWER MAINS SHALL BE 12" DIA.
 - 1.2. ALL SEWER MAIN LINES AND LATERALS SHALL BE 4" DIA.
2. ALL UNITS SHALL HAVE A 4" DIA. SEWER LATERAL.
3. ALL PRIVATE STREETS WILL BE A SEWERED AS A PUBLIC STREET. ALL SEWER LATERALS SHALL BE 4" DIA. AND SHALL BE PROVIDED FOR ALL SEWERS NOT LOCATED WITHIN A STREET.

LOW PRESSURE SEWER NOTES:
 UNITS SHALL BE SERVED BY LOW PRESSURE SEWER SYSTEM USING AN ELEVATION PUMP.



THIS DOCUMENT IS RELEASED
 UNLESS OTHERWISE NOTED
 UNLESS BOUND AND SEALED
 DATE: 13 MAY 2021
 DRAWN BY: CDS

WATTS ENTERPRISES REMUND FARMS
PHASE 4 SEWER PLAN
BERG ENGINEERING 3802 S. MAIN ST., SUITE 204 DENVER, CO 80202 PH: 303.557.9799
ISSUED BY: CDS DATE: 13 MAY 2021 SHEET: 11
DRAWN BY: CDS REV: 11



- LEGEND:**
- SEWER
 - EXISTING PRESSURIZED IRRIGATION
 - EXISTING PRESSURIZED IRRIGATION
 - EXISTING WATER
 - EXISTING STORM DRAIN

- NOTES:**
1. LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

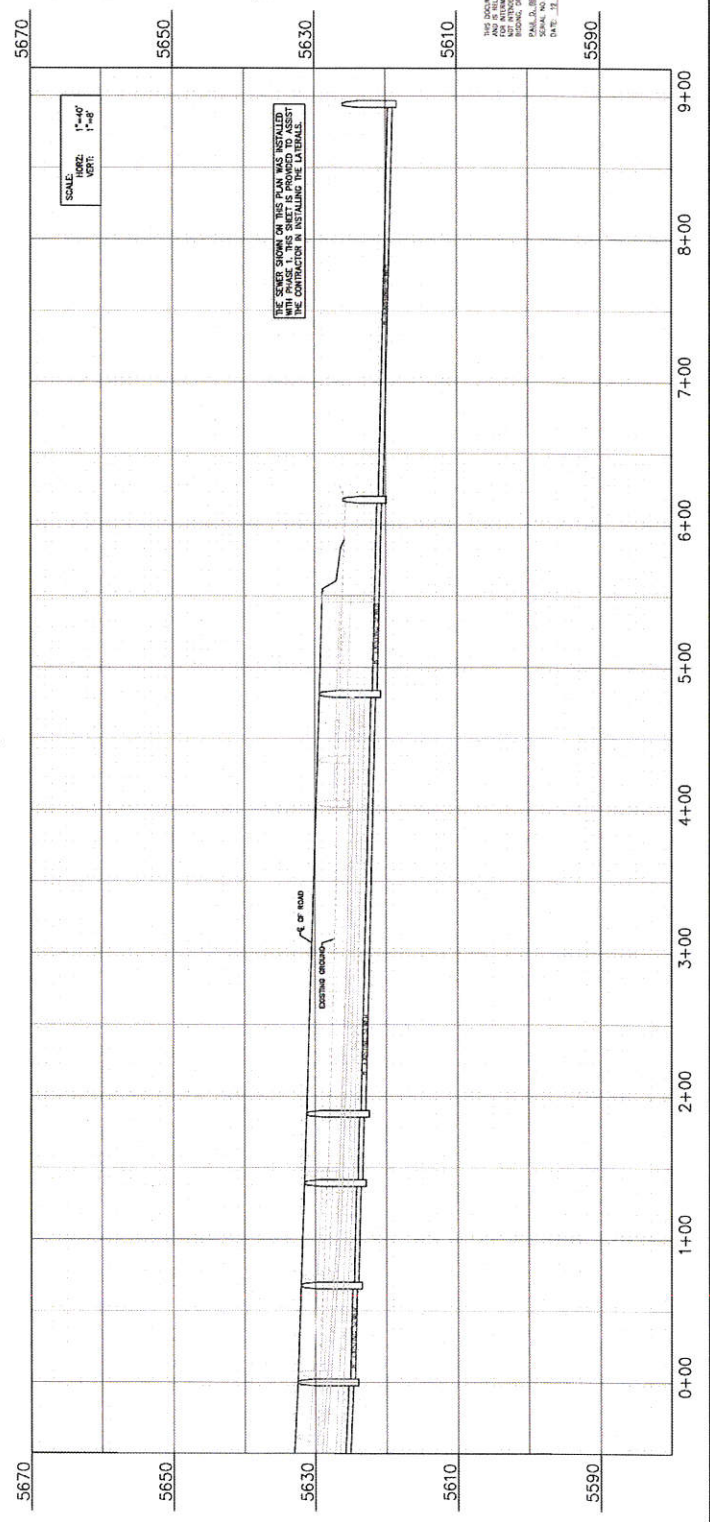
- LEGEND:**
- PROPOSED STREET LIGHT LOCATION
 - INSTALL ADA RAMP

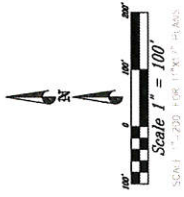


WATTS ENTERPRISES
 REMUND FARMS
 ROCKWELL CIR EXISTING
 SEWER 0+00 - 9+00

BERG ENGINEERING
 3802 E. MAIN ST., SUITE 204
 DENVER, CO 80202
 PHONE: 303.752.5799
 FAX: 303.752.5799

ISSUED BY: BEG DATE: 12 MAY 2021 SHEET 12



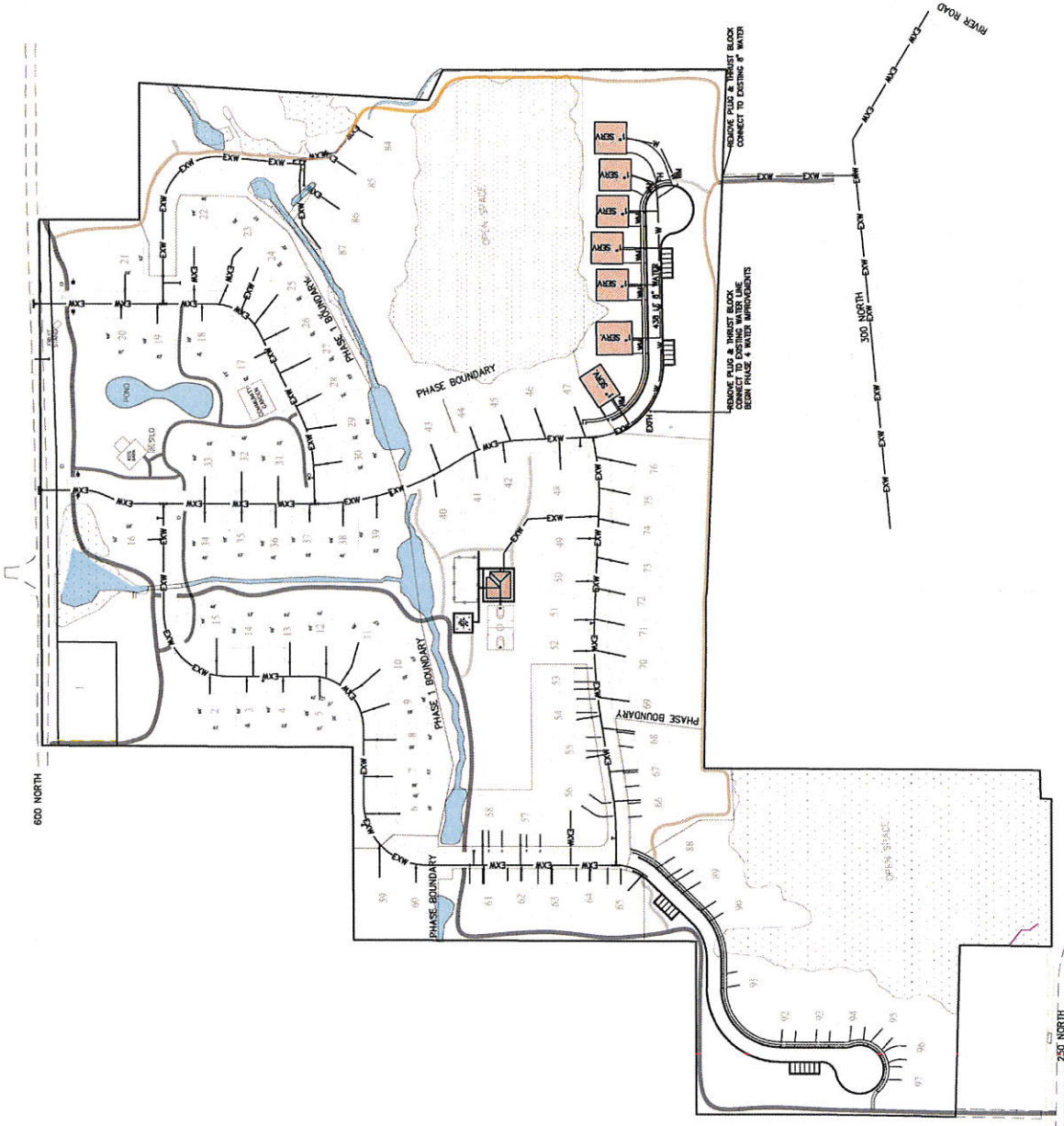


LEGEND

	WETLANDS
	WATER METER
	FIRE HYDRANT
	EXISTING WATER LINE

- GENERAL NOTES:**
1. ALL UTILITY WATER CONSTRUCTION TO MEET MORWAY CITY REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE MORWAY CITY ENGINEERING DEPARTMENT.
 2. ALL PRIVATE STREETS SHALL BE A DESIGNATED AS A PUBLIC UTILITY.
 3. ALL PRIVATE STREETS SHALL HAVE A 1" WATER SERVICE WITH A 3/4" METER.
 4. ALL WATER LINES SHALL BE ANNA D200 DR-18 PIPE.

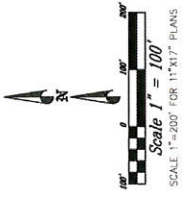
BLUE STAKE NOTE:
 LOCATION OF EXISTING UTILITIES SHOWN ON PLAN SHALL BE VERIFIED BY FIELD SURVEY. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.



WATTS ENTERPRISES
 REMUND FARMS
 PHASE 4
 WATER PLAN



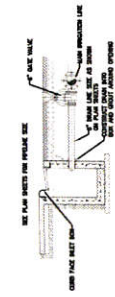
DESIGN BY: CSB DATE: 12 MAY 2017
 DRAWN BY: CSB REV: 14



- LEGEND**
- MEADOWS
 - P.I. 2" PRESSURIZED IRRIGATION SERVICE
 - EPH EXISTING PRESSURIZED IRRIGATION
 - PI PRESSURIZED IRRIGATION

PRESSURIZED IRRIGATION SYSTEM NOTES

1. ALL PRESSURIZED IRRIGATION CONSTRUCTION TO MEET
2. ALL PIPE SHALL BE AMMA C-300 CLASS OR EQUIVALENT.
3. ALL PRESSURIZED IRRIGATION SERVICES FOR COMMON AREA
4. SEE STORM DRAIN PLAN AND PROFILE SHEETS FOR MORE INFORMATION REGARDING P.I. DRAIN LOCATIONS



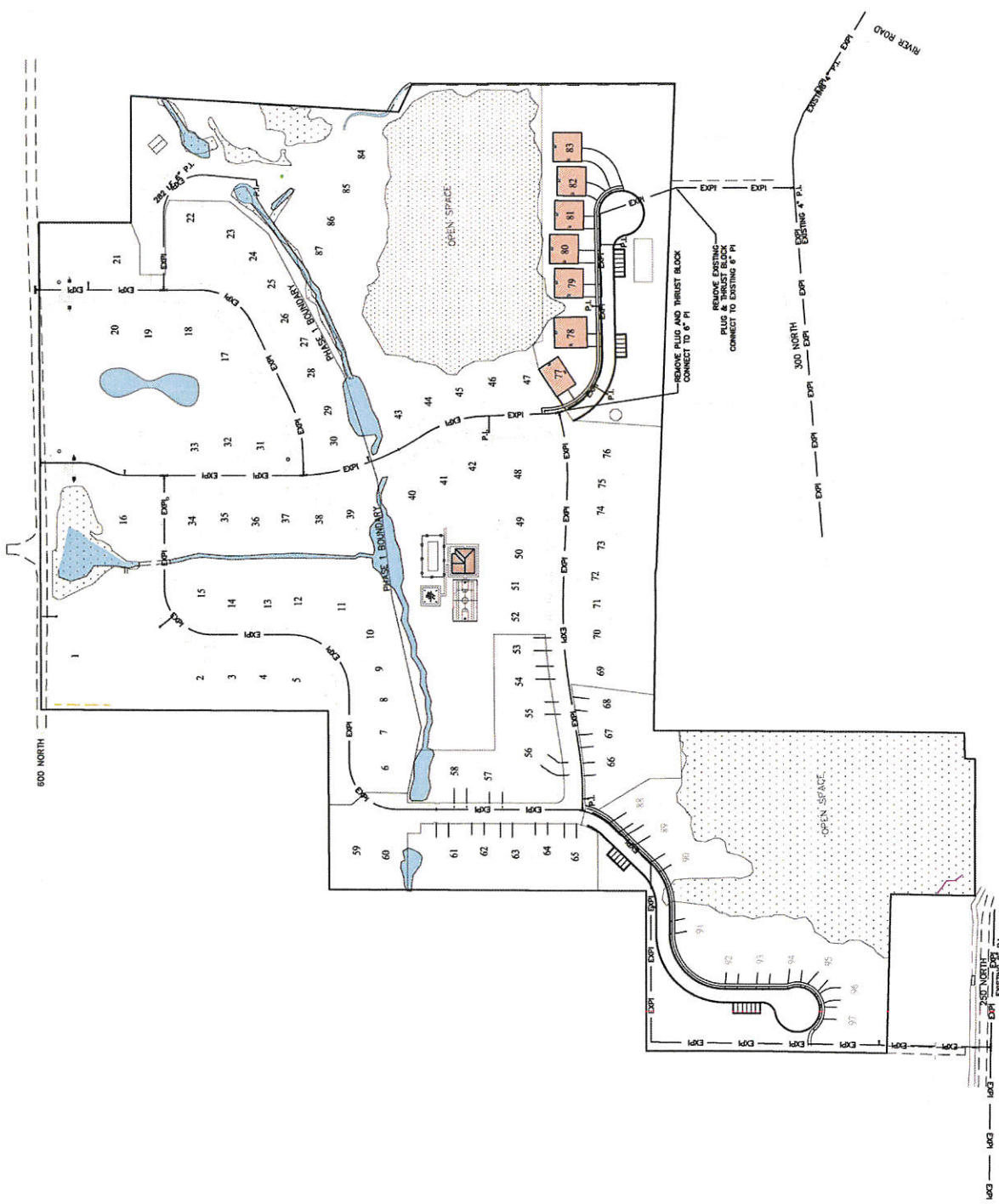
IRRIGATION SYSTEM DRAIN TO STORM SEWER

THIS DOCUMENT IS RELEASED
UNLESS OTHERWISE NOTED
PAUL A. BERG, P.E.
SERIAL NO. 790598
DATE: 12/01/2021

WATTS ENTERPRISES
REMOVED FARMS
PHASE 4
PRESSURIZED IRRIGATION PLAN

BERG ENGINEERING
300 E. Main St., Suite 204
P.O. Box 425, 627 9249

ISSUED BY: TDB DATE: 12 MAY 2021 SHEET 15
DRAWN BY: CDB REV:





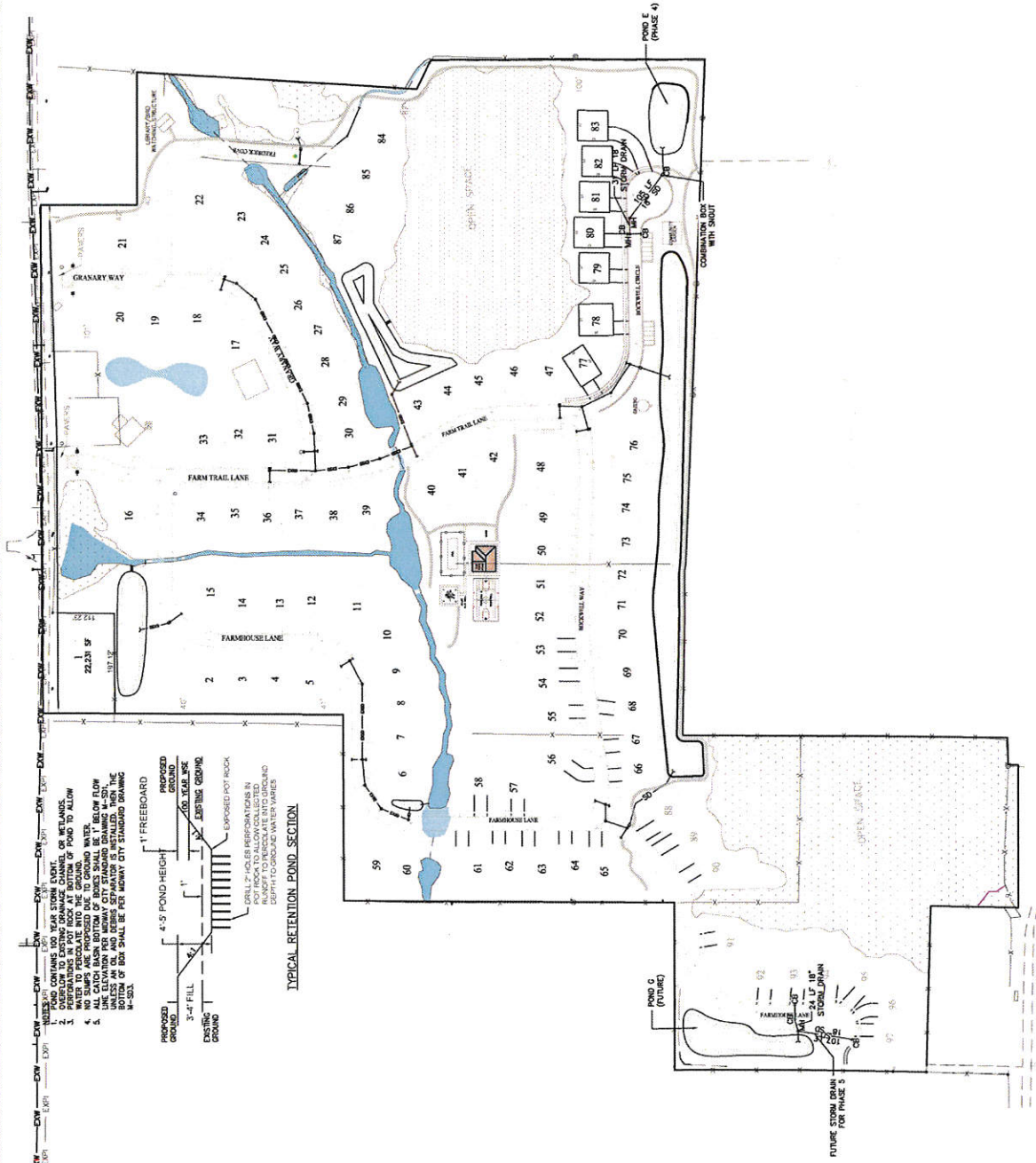
- LEGEND
- WETLANDS
 - 0 MH STORM DRAIN MANHOLE
 - CBH CATCH BASIN
 - ESD EXISTING STORM DRAIN

THIS DOCUMENT IS RELEASED
 UNLESS OTHERWISE NOTED FOR CONFIDENTIALITY
 PROJECT NO. 2020-001
 SHEET NO. 17 OF 17
 DATE: 12 MAY 2021

WATTS ENTERPRISES
 REMUND FARMS
 PHASE 4
 STORM DRAIN PLAN

BERG ENGINEERING
 200 E Main St, Suite 204
 Fort Collins, CO 80501
 PH: 970.226.8999
 FX: 970.226.8999

DESIGN BY: CDB DATE: 12 MAY 2021 SHEET 17
 DRAWN BY: CDB REV.

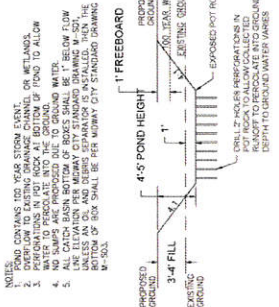
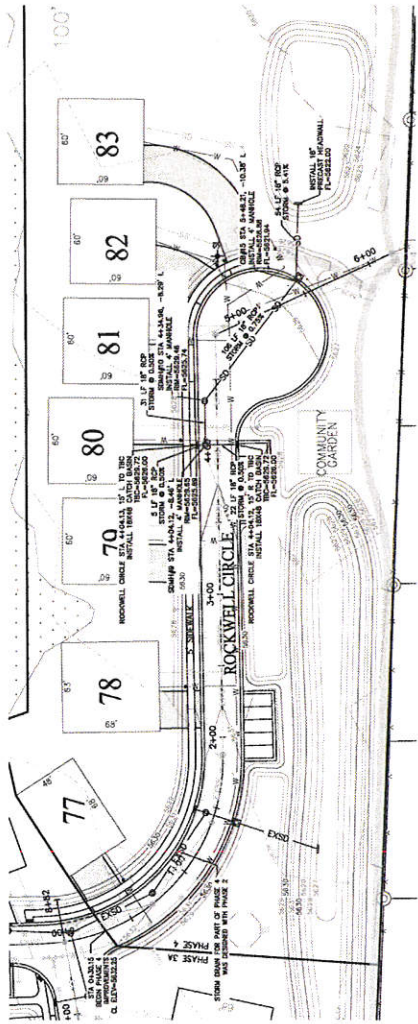


TYPICAL RETENTION POND SECTION

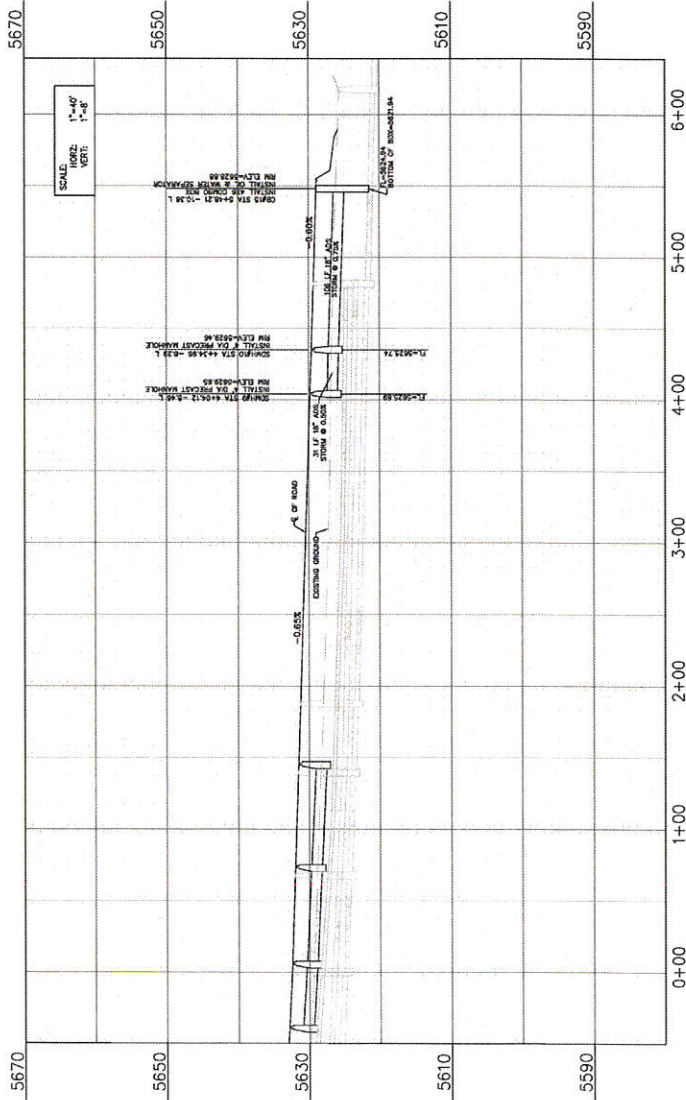
1. POND CONTAINS 100 YEAR STORM EVENT. AS NOTED.
 2. PREPARATIONS IN POT ROCK AT BOTTOM OF POND TO ALLOW WATER TO PERCOLATE INTO THE GROUND WATER.
 3. ALL CATCH BASIN BOTTOMS SHALL BE 1' BELOW FLOW LINE.
 4. ALL CATCH BASIN BOTTOMS SHALL BE 1' BELOW FLOW LINE UNLESS AN OIL AND DEBRIS SEPARATOR IS INSTALLED. THEN THE BOTTOM OF BOX SHALL BE PER MONTGOMERY CITY STANDARD DRAWING M-502.

PROPOSED GRADED
 3'-0" FILL
 EXISTING GROUND
 EXPOSED POT ROCK
 12" PIPE
 12" CATCH BASIN
 12" STORM DRAIN

FUTURE STORM DRAIN FOR PHASE 3



TYPICAL RETENTION POND SECTION

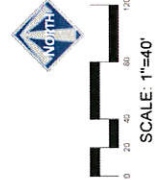


- NOTES:
1. POND CONTAINS TWO YEAR STORM EVENT, OR WETLANDS PERFORMATIONS IN POT HOLE AT BOTTOM OF POND TO ALLOW FOR EXCESS FLOW.
 2. ALL POND ARE PROVIDED WITH 1\"/>
 - 3. ALL CATCH BASIN BOTTOMS SHALL BE 1\"/>
 - 4. UNLESS AN OIL AND DEBRIS SEPARATOR IS INSTALLED, THEN THE BOTTOM OF BOX SHALL BE PER MURRAY CITY STANDARD DRAWING 0-100.

- NOTES:
1. LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
 2. ALL STORM DRAIN CONSTRUCTIONS SHALL MEET MURRAY CITY STANDARDS AND SPECIFICATIONS AS ADOPTED IN THE MURRAY CITY ENGINEERING SPECIFICATIONS.
 3. ALL CATCH BASIN BOTTOMS SHALL BE 1\"/>

- LEGEND:
- PROPOSED STREET LIGHT LOCATION
 - INSTALL ADA RAMP

DRAWING NOTES: CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. FINAL GRADES TO BE COMPLETED WITHIN 10' OF THE EXISTING GRADE. TOP SURFACE OF CURB, DRIVEWAYS SHALL BE LESS THAN 5%.



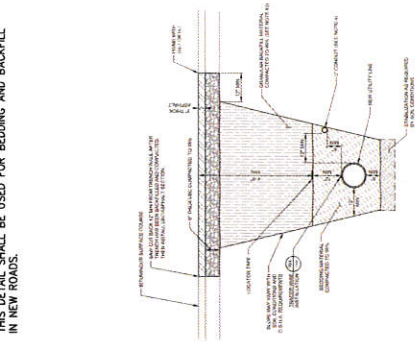
WATTS ENTERPRISES
REMUND FARMS
ROCKWELL CIR STORM
PLAN & PROFILE 0+00 - 5+60

BERG ENGINEERING
300 E MAIN ST, SUITE 204
MURRAY, KY 40340
TEL: 502.885.1111
FAX: 502.885.1112
DATE: 12/05/2011

DRAWN BY: BEJ
DATE: 12/MAY/2011
SHEET 18

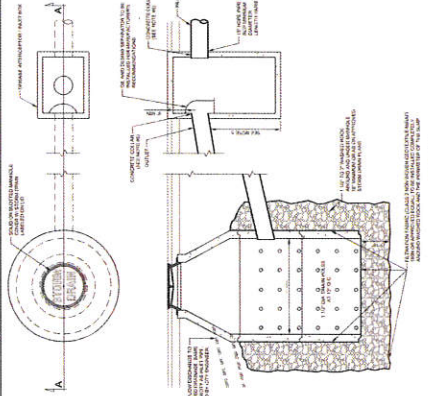
THIS DOCUMENT IS INCOMPLETE AND SHALL BE VOID WITHOUT THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

THIS DETAIL SHALL BE USED FOR BEDDING AND BACKFILL IN NEW ROADS.



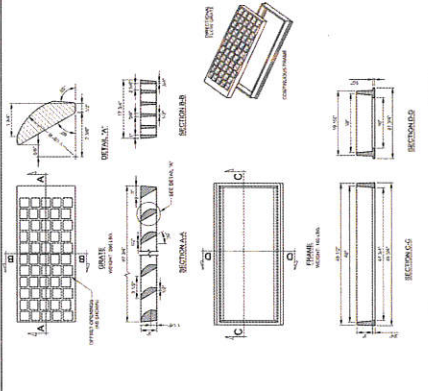
- NOTES:**
1. ALL STORM DRAIN INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF MIDWAY STANDARD DRAWING UTILITY-1.
 2. THE BEDDING SHALL BE 4 INCHES OF COMPACTED SAND.
 3. THE BACKFILL SHALL BE 18 INCHES OF COMPACTED AGGREGATE.
 4. THE CURB SHALL BE 1 FOOT WIDE AND 6 INCHES HIGH.
 5. THE PIPE SHALL BE 18 INCHES IN DIAMETER.

MIDWAY CITY STANDARD DRAWING UTILITY-1



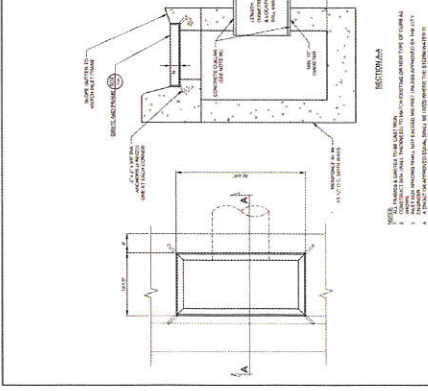
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MIDWAY CITY STANDARD DRAWING UTILITY-1



- NOTES:**
1. ALL STORM DRAIN INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF MIDWAY STANDARD DRAWING UTILITY-1.
 2. THE CURB SHALL BE 1 FOOT WIDE AND 6 INCHES HIGH.
 3. THE BOX SHALL BE 18 INCHES WIDE AND 24 INCHES LONG.

MIDWAY CITY STANDARD DRAWING UTILITY-1

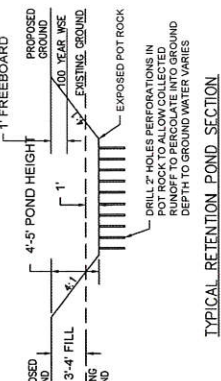


- NOTES:**
1. ALL STORM DRAIN INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF MIDWAY STANDARD DRAWING UTILITY-1.
 2. THE CURB SHALL BE 1 FOOT WIDE AND 6 INCHES HIGH.
 3. THE BOX SHALL BE 18 INCHES WIDE AND 24 INCHES LONG.

MIDWAY CITY STANDARD DRAWING UTILITY-1

NOTES:

1. THE POND SHALL BE 100 FEET LONG AND 4 FEET DEEP.
2. THE POND SHALL BE 100 FEET LONG AND 4 FEET DEEP.
3. THE POND SHALL BE 100 FEET LONG AND 4 FEET DEEP.
4. THE POND SHALL BE 100 FEET LONG AND 4 FEET DEEP.
5. THE POND SHALL BE 100 FEET LONG AND 4 FEET DEEP.



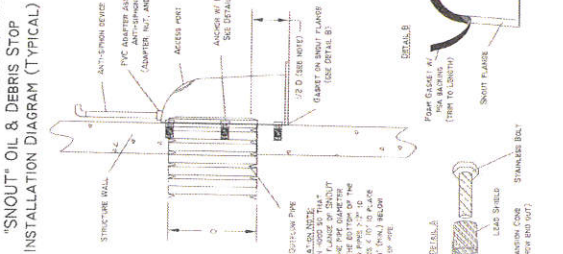
TYPICAL RETENTION POND SECTION

FOR STORM DRAIN MANHOLES SEE PRECAST SEWER MANHOLE DETAIL ON SHEET 13.

WATTS ENTERPRISES
REMUND FARMS
STORM DRAIN
CONSTRUCTION DETAILS

DESIGN BY: PDB DATE: 12 MAY 2021
DRAWN BY: CSB REF: 19

INSTALLATION DIAGRAM (TYPICAL)



Storm Drain Manhole/Combo Box Typical

Configuration in Table

Manhole/Combo Box	Clearance	Notes
18\"/>		

Alternate Configurations

Storm Drain Inlet Box Typical

Configuration in Table

Storm Drain Inlet Box	Clearance	Notes
18\"/>		

Alternate Configurations

Clearance Tables for RCP in Manholes/Combo Boxes

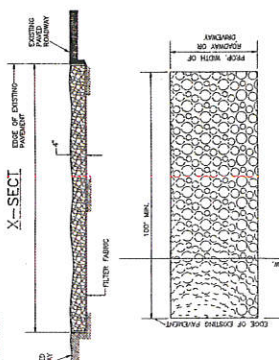
Minimum Manhole Clearance for Storm Drain Manholes/Combo Boxes

Clearance Tables for RCP in Inlet/Cleanout Boxes

Minimum Manhole Clearance for Storm Drain Inlet/Cleanout Boxes

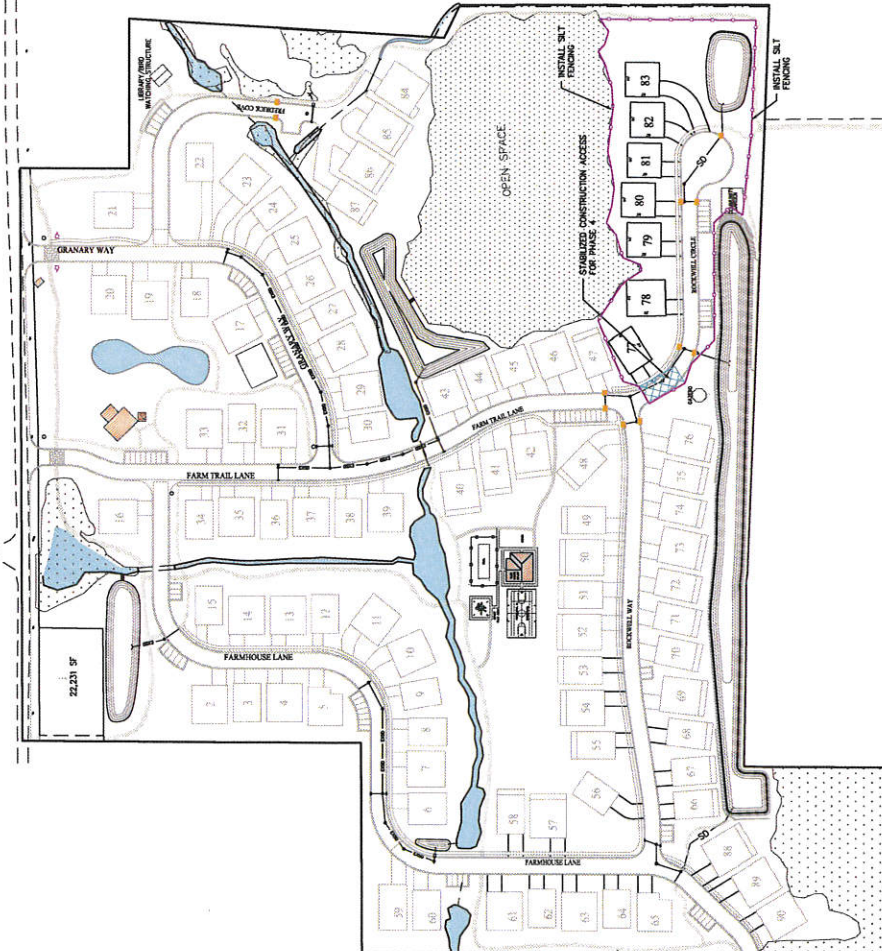
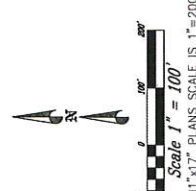
STABILIZED CONSTRUCTION ACCESS

AND STABILIZED CONSTRUCTION ACCESS SHALL BE INSTALLED TO THE FRONT OF THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILIZED CONSTRUCTION ACCESS THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILIZED CONSTRUCTION ACCESS THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILIZED CONSTRUCTION ACCESS THROUGHOUT THE CONSTRUCTION PERIOD.



PLAN

LENGTH - 10 FEET MINIMUM WHERE THE ROCKS ARE MADE OF GRANITE OR 100 FEET MINIMUM WHERE THE ROCKS ARE MADE OF SANDSTONE OR LIMESTONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILIZED CONSTRUCTION ACCESS THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILIZED CONSTRUCTION ACCESS THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILIZED CONSTRUCTION ACCESS THROUGHOUT THE CONSTRUCTION PERIOD.

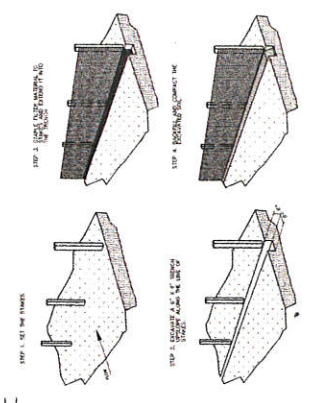


EROSION CONTROL SHALL BE INSTALLED AT ALL CATCH BASINS AND SUMPS.

FILTER FABRIC TO BE INSTALLED IN ALL SUMP MANHOLES UNLESS VEGETATION IS ESTABLISHED IN THE STORM DRAIN PONDS.

A STABILIZED CONSTRUCTION ACCESS SHALL BE INSTALLED AT ALL ACCESS POINTS TO THE PROJECT.

A UPDES GENERAL CONSTRUCTION PERMIT IS REQUIRED. THE CONTRACTOR SHALL APPLY FOR THE PERMIT AND SHALL PROVIDE A COPY OF THE APPROVED PERMIT TO MIDWAY CITY PRIOR TO CONSTRUCTION.



CONSTRUCTION OF A FILTER BARRIER

1. SET THE STAKES. THE STAKES SHALL BE SET AT THE CORNER OF THE BARRIER AND AT THE MIDPOINT OF EACH SIDE. THE STAKES SHALL BE SET AT THE CORNER OF THE BARRIER AND AT THE MIDPOINT OF EACH SIDE. THE STAKES SHALL BE SET AT THE CORNER OF THE BARRIER AND AT THE MIDPOINT OF EACH SIDE.

2. EXCAVATE A 4\"/>

CONSTRUCTION OF A FILTER BARRIER

EROSION CONTROL FOR STORM DRAIN SYSTEMS SHALL BE INSTALLED AT ALL CATCH BASINS DURING CONSTRUCTION. EROSION CONTROL SHALL INCLUDE FILTER FABRIC AND HAY BALES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILIZED CONSTRUCTION ACCESS THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILIZED CONSTRUCTION ACCESS THROUGHOUT THE CONSTRUCTION PERIOD.

WATTS ENTERPRISES
REMUND FARMS
STORM WATER POLLUTION PREVENTION PLAN - PHASE 4

BERG ENGINEERING
1001 N. MAIN ST. SUITE 200
MIDWAY, MO 64579
PHONE: 816.485.1234
FAX: 816.485.1235
DATE: 12 MAY 2007

DESIGNER: ROB BARNETT, CIVIL
DATE: 12 MAY 2007
SHEET NO. 20

June 8, 2021

Midway City
Attn: Michael Henke
75 North 100 West
Midway, Utah 84049

Subject: Remund Farms – Phase 4 Preliminary Review

Dear Michael:

Horrocks Engineers recently reviewed the above development plans for Preliminary Approval. The proposed development is located near 200 East and 600 North. The entire development is 50.87 acres and contains 97 lots. Phase 4 is 4.14 acres and contains 7 lots. The following comments should be addressed.

Wetlands

- All wetland delineations have been approved with the US Army Corp of Engineers.
- Several units encroach within the 25' wetlands setback as approved by the City Council with the Master Plan Approval of the development. However, no units encroach within the actual wetlands.
- Any construction activities that will impact the delineated wet lands will need approval from the US Army Corp of Engineers.
- Delineated wet lands shall be surveyed and construction fence shall be installed to delineate the wet land boundaries.

Geotechnical and Hydrogeologic Investigation

- As part of the Phase 1 geotechnical investigation the developer installed and is monitoring 27 boring pits/piezometers over the entire site.
- To monitor the groundwater elevation, the groundwater at each piezometers was read during the construction of Phase 1 - 3. As construction of future phases takes place monitoring will continue to be documented.
- Hydrological analysis as previously done by Loughlin Water Association and Developer for Phases 1 – 3 should continue as previously approved for the site.

Water

- The proposed development will be served from the Gerber Mahogany Springs zone.
- The mainline water for phase 4 was completed as part of the work in phase 2.

Irrigation

- The proposed development will connect to existing irrigation from Phase 2 and install services with meters according to Midway Irrigation Company standards.

Roads

- The proposed development will install 26' of asphalt, modified curb on each side of the road, with a 5' park strip and 5' sidewalk on one side of the road. The developer will pay to the City the cost savings of installing 26' of asphalt rather than the standard 30' of asphalt.
- All roads with in the proposed development will be private roads.

Trails

- There are private with public use gravel trails within this part of the development.

Storm Drain

- The storm drain system will be private and will be collected within the proposed curb and gutter and discharged to a series of catch basins and retention basins with the development.
- Remund Farms HOA will be responsible for maintenance of the storm system. This needs to be updated in the development agreement.

Please feel free to call our office with any questions.

Sincerely,
HORROCKS ENGINEERS



Wesley Johnson, P.E.
Midway City Engineer

cc: Berg Engineering