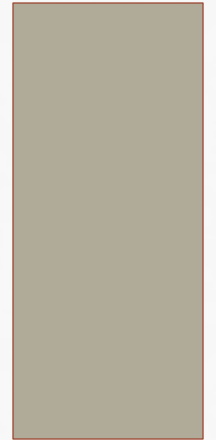


RESORT ZONE LANDSCAPING BOND

CODE TEXT AMENDMENT



PROPOSED CODE

- Clarify that landscaping bond is separate from the construction bond
- Timing of the two bonds are quite different
 - Construction bond may be complete before landscaping is installed
 - Separating the bond will allow both to be established before the plat is recorded. The construction bond will be released when construction of infrastructure is complete, and the landscaping bond will be released when the landscaping is released.

PROPOSED LANGUAGE

- 16.15.8 Completion and Recordation
- C. Landscaping Bond. Before recording any Subdivision Plat or Condominium Record of Survey of Map, a bond equal to 110 percent of the cost for construction and completion of the landscape plan shall be posted in accordance with requirements established, from time to time, by the City Council.
The Landscaping Bond can be posted as a designated part of the Construction Bond.

POSSIBLE FINDINGS

- The proposed code amendment will allow for better landscaping results in resort development common areas and open spaces.
- The proposed adjustment will allow administrating the code to be much simpler.
- Landscape and construction bonds must be posted separately before a plat is recorded.